



## ALUA MEETING

Wednesday, May 29, 2024 at 11:00 AM  
Council Chambers, 60 West Main, Hyrum, Utah

### AGENDA

Public notice is hereby given of a Hyrum Administrative Land Use Authority Meeting to be held in the Council Chambers, 60 West Main, Hyrum, Utah at 11:00 AM, May 29, 2024. The proposed agenda is as follows:

1. **ROLL CALL**
2. **PLEDGE OF ALLEGIANCE**
3. **INVOCATION**
4. **AGENDA APPROVAL**
5. **SCHEDULED DELEGATIONS**
  - A. **Josh Runhaar, Mountain View Estates South Subdivision** - seeking final plat and construction drawing approval for Phase 6 of the Mountain View Estates South Subdivision. This phase consists of 23 single family lots and two open space lots on 7.6 acres.
6. **ADJOURNMENT**

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**Shara Toone**  
**Secretary**

ALUA Members may participate in the meeting via telephonic communication. If a Commission Member does participate via telephonic communication, the ALUA Member will be on speakerphone. The speakerphone will be amplified so that the other ALUA Members and all other persons present in the Council Chambers will be able to hear all discussions. In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify Hyrum City Office at 435-245-6033 at least three working days before the meeting.

**CERTIFICATE OF POSTING** - The undersigned, duly appointed and acting City Secretary of Hyrum City, Utah, does hereby certify that a copy of the foregoing Notice was posted on the Utah Public Notice Website and Hyrum City's Website, provided to each member of the ALUA body, and posted at the City Offices, 60 West Main, Hyrum, Utah, this 24th day of May, 2024. Shara Toone, Secretary

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**MOUNTAIN VIEW ESTATES SOUTH SUBDIVISION**

**FINAL PLAT – PHASE 6**

**~600-700 S 1250 EAST**

**ALUA MEETING**

**MAY 29, 2024**

Summary: Josh Runhaar is seeking final plat and construction drawing approval for Phase 6 of the Mountain View Estates South Subdivision. This phase consists of 23 single family lots and two open space lots on 7.6 acres

ZONING: R-2 Residential

UTILITIES:

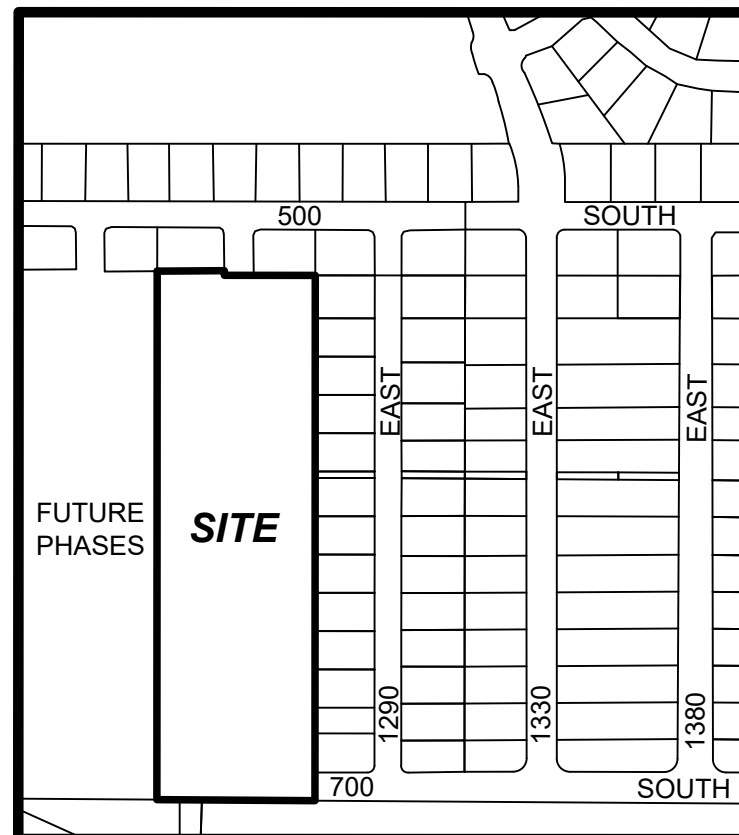
Power:	To be constructed by developer
Culinary:	To be constructed by developer
Sewer:	To be constructed by developer
Irrigation:	To be constructed by developer

PARKING & ROADS: To be constructed by developer

NOTES: The preliminary plat was started under the old subdivision process. This phase is allowed to be processed under the new subdivision ordinance as requested by the developer. The construction drawings are entitled to be designed under the original standards and will be reviewed for the phase submitted.

**Electrical component delays for equipment not already ordered are estimated to be 2.5 years.**





VICINITY MAP  
NTS

**OWNER**  
NEIGHBORHOOD NONPROFIT  
HOUSING CORPORATION  
195 West Golf Course Road  
Logan, Utah 84321

**LEGEND**

- XXX LOT ADDRESSES
- SECTION MONUMENT
- CENTERLINE MONUMENT (TO BE SET)
- NO VEHICULAR ACCESS (SEE NOTE #8)

CURVE TABLE				
CURVE #	RADIUS	DELTA	ARC LENGTH	CHORD
C1	15.00	90°00'32"	23.56	N45°02'20"E 21.21
C2	15.00	89°59'28"	23.56	S44°57'40"E 21.21

LINE TABLE		
LINE #	BEARING	DISTANCE
L1	N0°02'04"E	14.00
L2	S89°57'21"E	128.25
L3	N89°57'21"W	128.25
L4	S0°02'04"W	14.00

WEST 1/4 CORNER  
OF SECTION 10,  
T10N, R1E, S.L.B.&M.  
ALUMINUM CAP

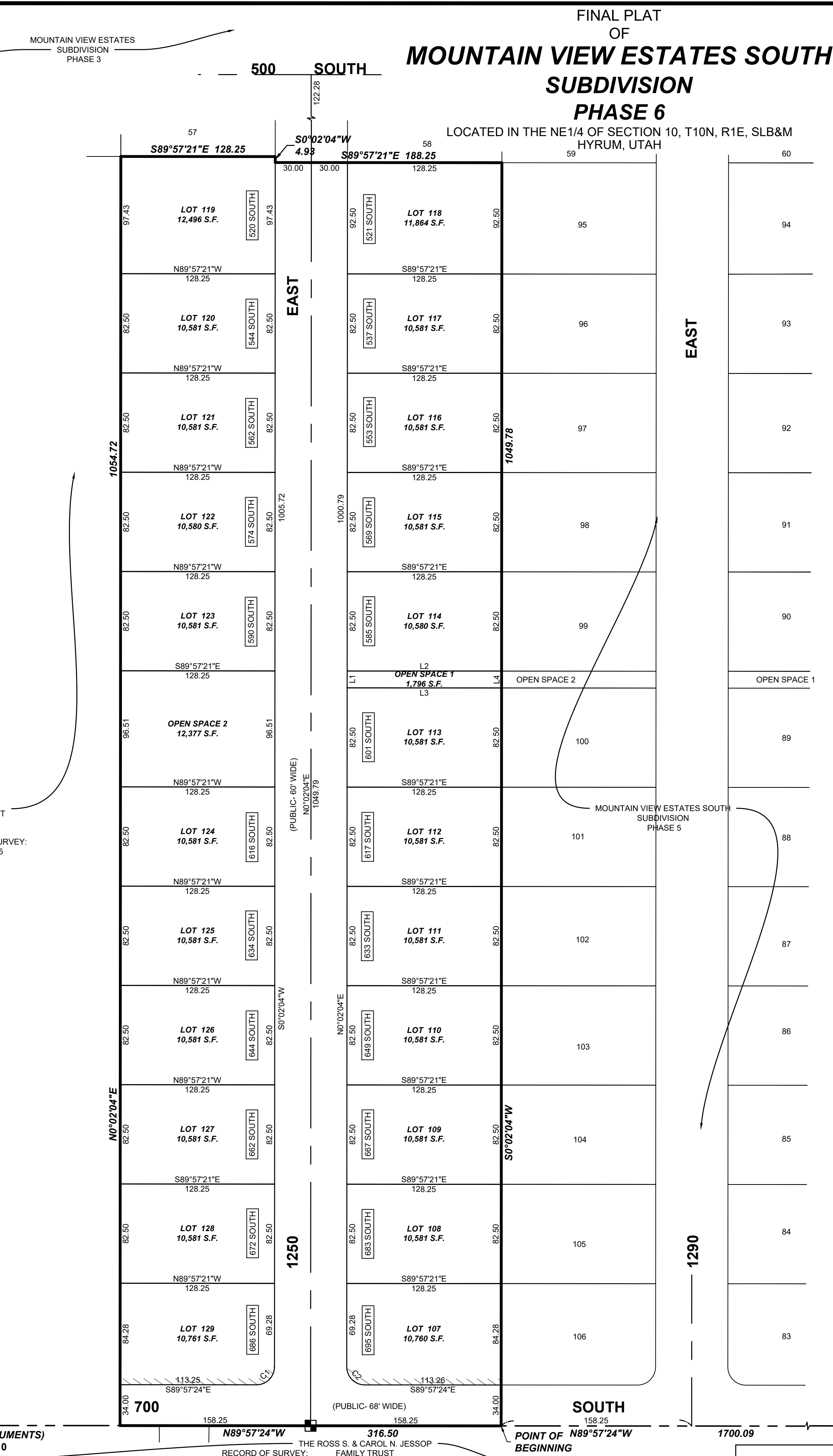
JN FARMS, LLC  
1744753

**civilsolutionsgroup inc.**  
CACHE VALLEY | P: 435.213.3762  
SALT LAKE | P: 801.216.3192  
UTAH VALLEY | P: 801.874.1432  
info@civilsolutionsgroup.net  
www.civilsolutionsgroup.net

**UTILITY COMPANIES**  
THE UTILITY EASEMENTS SHOWN ON THIS PLAT HAVE BEEN REVIEWED AND ARE APPROVED.

DOMINION ENERGY\* \_\_\_\_\_ DATE \_\_\_\_\_ HYRUM POWER \_\_\_\_\_ DATE \_\_\_\_\_  
COMCAST CABLE \_\_\_\_\_ DATE \_\_\_\_\_ CENTURYLINK COMMUNICATIONS \_\_\_\_\_ DATE \_\_\_\_\_

\*DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFORMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABRIGATION OR WAIVER OF ANY EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THIS PLAT, INCLUDING THOSE SET IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-8532.

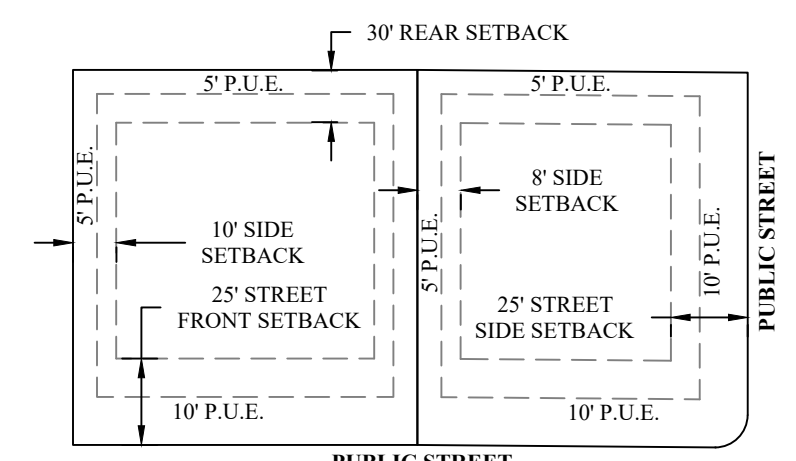


FINAL PLAT  
OF  
**MOUNTAIN VIEW ESTATES SOUTH  
SUBDIVISION  
PHASE 6**  
LOCATED IN THE NE 1/4 OF SECTION 10, T10N, R1E, SLB&M  
HYRUM, UTAH

NORTHEAST CORNER  
OF SECTION 10,  
T10N, R1E, S.L.B.&M.  
(CALCULATED POSITION)

**NOTES:**

- EXTENSIONS FOR SANITARY SEWER SYSTEMS, GAS SERVICE, ELECTRICAL SERVICE, GRADING AND LANDSCAPING, STORM DRAIN SYSTEMS, CURBS AND GUTTERS, FIRE HYDRANTS, PAVEMENT, SIDEWALKS, STREET LIGHTING AND SIGNING, AND OTHER IMPROVEMENTS SHALL BE FINANCED BY SUBDIVIDER.
- ALTHOUGH THE SETBACK LINES SHOWN HEREON REFLECT CURRENT CITY REQUIREMENTS AS OF THE DATE OF THIS PLAT, FUTURE BUILDINGS SHALL BE SUBJECT TO THE SETBACK REQUIREMENTS IN EFFECT WHEN ANY BUILDING PERMITS ARE ISSUED. THE CURRENT SETBACKS, GRAPHICALLY SHOWN HEREON ARE AS FOLLOWS:
  - FRONT 25'
  - REAR 30'
  - SIDE 8' & 10' (SEE DETAIL)
  - 25' (IF SIDE YARD FRONTS A STREET)
- THIS AREA IS SUBJECT TO THE NORMAL EVERYDAY SOUNDS, ODORS, SIGHTS, EQUIPMENT, FACILITIES, AND ALL OTHER ASPECTS ASSOCIATED WITH AN AGRICULTURAL LIFESTYLE. FUTURE RESIDENTS SHOULD ALSO RECOGNIZE THE RISKS INHERENT WITH LIVESTOCK.
- THE DEVELOPER WILL PLANT TWO (2) TREES HAVING A MINIMUM DIAMETER OF ONE AND ONE HALF (1 1/2) INCHES FOR EACH APPROVED SUBDIVISION LOT. FOUR (4) TREES SHALL BE PLANTED ON CORNER LOTS.
- ALL STORM WATER SWALES SHALL REMAIN IN PLACE AFTER CONSTRUCTION. LOT OWNERS MAY NOT FILL IN OR MODIFY SWALE CONSTRUCTION.
- SECTIONAL DATA AND OTHER SURVEY INFORMATION DISCLOSED ON THIS PLAT IS REFERENCED FROM A SURVEY PREPARED FOR GREGORY NIELSEN BY A.A.HUDSON AND ASSOCIATES AND FILED IN THE OFFICE OF THE CACHE COUNTY SURVEYOR UNDER SURVEY No. 2015-055.
- OPEN SPACE PARCELS 1 & 2 ARE NON-BUILDABLE PARCELS AND ARE HEREBY DEDICATED TO, AND SHALL BE MAINTAINED BY HYRUM CITY.
- AS A CONDITION OF THE DEDICATION OF 700 SOUTH, THE OWNERS OF LOTS 107 & 129 ABUTTING THIS HIGHWAY WILL HAVE NO VEHICULAR RIGHT OF ACCESS EXCEPT THE GENERAL EASEMENT OF TRAVEL. ANY CHANGE OF ALIGNMENT OR WIDTH THAT RESULTS IN THE VACATION THEREOF SHALL TERMINATE THIS CONDITION OF ACCESS RIGHTS AS TO THE PART VACATED.
- REBAR AND CAP MARKED WITH CSG ENG & SURVEY TO BE PLACED WITH T-POST AT ALL REAR LOT CORNERS. CURB PIN TO BE PLACED AT PROLONGATION OF PROPERTY LINES IN THE TOP OF THE CURB.



**PUE & SETBACK DETAIL**  
(TYPICAL SEE NOTE #2)  
NTS

LAND USE TABLE	
TOTAL PROJECT AREA:	7.64 +/- ACRES
TOTAL AREA OF OPEN SPACE LOTS:	0.33 +/- ACRES
TOTAL AREA OF RESIDENTIAL LOTS:	5.66 +/- ACRES
TOTAL # OF RESIDENTIAL LOTS:	23
TOTAL # OF OPEN SPACE LOTS:	2
TOTAL ROAD AREA:	1.65 +/- ACRES
TOTAL ROAD MILES:	0.26 +/- MILES

**CULINARY WATER AND SANITARY SEWER**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY  
HYRUM CULINARY WATER AUTHORITY AND SANITARY SEWER  
AUTHORITY

CULINARY WATER AUTHORITY \_\_\_\_\_ SANITARY SEWER AUTHORITY \_\_\_\_\_  
**PLANNING COMMISSION APPROVAL**  
PRESENTED TO THE HYRUM CITY PLANNING COMMISSION THIS  
DAY OF \_\_\_\_\_, 20\_\_\_\_, AT WHICH TIME THIS  
SUBDIVISION WAS RECOMMENDED TO THE CITY COUNCIL FOR  
APPROVAL.

PLANNING COMMISSION CHAIR \_\_\_\_\_ DATE \_\_\_\_\_

**COUNTY SURVEYOR'S APPROVAL**  
I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE CORRECT  
AND IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE AND  
THE CITY ORDINANCE.

CITY ATTORNEY \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

COUNTY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

**ATTORNEY APPROVAL**  
APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CITY ATTORNEY \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**  
I, CURTIS BOWN, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 12606452-2201 IN ACCORDANCE WITH TITLE 58, CHAPTER 22 OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S) THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 OF SAID CODE, AND HAVE ALSO SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS, AND THE SAME HAS, OR WILL BE CORRECTLY SURVEYED, STAKED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.



CURTIS BOWN \_\_\_\_\_ DATE \_\_\_\_\_  
PROFESSIONAL LAND SURVEYOR  
CERTIFICATE NO. 12606452-2201

**BOUNDARY DESCRIPTION**

A portion of the NE 1/4 of Section 10, Township 10 North, Range 1 East, Salt Lake Base & Meridian, located in Hyrum, Utah, more particularly described as follows:  
Beginning at a point located N89°57'24"W along the 1/4 Section line 1,700.09 feet from the East 1/4 Corner of Section 10, T10N, R1E, S.L.B.& M. (Basis of Bearing: N0°24'20"W along the Section line between said East 1/4 Corner and the Northeast Corner of said Section 10); thence N89°57'24"W along the 1/4 Section line 316.50 feet; thence N0°02'04"E 1,054.72 feet to the southwest corner of Lot 57, MOUNTAIN VIEW ESTATES Subdivision, Phase 3, according to the Official Plat thereof on file in the Office of the Cache County Recorder; thence along said Plat the following 3 (three) courses and distances: S89°57'21"E 128.25 feet; thence S0°02'04"W 4.93 feet; thence S89°57'21"E 188.25 feet to the northwest corner of Lot 95, MOUNTAIN VIEW ESTATES SOUTH Subdivision, Phase 5, according to the Official Plat thereof on file in the Office of the Cache County Recorder; thence S0°02'04"W along said Plat 1,049.78 feet to the point of beginning.  
Contains: 7.64 +/- acres

**OWNER'S DEDICATION**  
KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED ARE THE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS, PARCELS AND STREETS, TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREAFTER KNOWN AS:

**MOUNTAIN VIEW ESTATES SOUTH  
SUBDIVISION  
PHASE 6**

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL STREETS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY ANY OTHER EASEMENTS AS SHOWN ON THIS PLAT TO THE PARTIES INDICATED AND FOR THE PURPOSES SHOWN HEREON.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
(SIGNATURE)  
BY: \_\_\_\_\_ (PRINTED NAME)  
ITS: \_\_\_\_\_  
EXECUTIVE DIRECTOR

**CORPORATE ACKNOWLEDGMENT**  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_, WHOSE IDENTITY IS PERSONALLY KNOWN TO ME (OR PROVEN ON THE BASIS OF SATISFACTORY EVIDENCE) AND WHO BY ME DULY SWORE/AFFIRMED, DID SAY THAT HE/SHE IS THE EXECUTIVE DIRECTOR OF NEIGHBORHOOD NONPROFIT HOUSING CORPORATION AND THAT THIS DOCUMENT WAS SIGNED BY HIM/HER IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BYLAWS, OR RESOLUTION OF ITS BOARD OF DIRECTORS, AND SAID \_\_\_\_\_ ACKNOWLEDGED TO ME THAT SAID CORPORATION EXECUTED THE SAME.

MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC  
COMMISSIONED IN UTAH  
RESIDING IN \_\_\_\_\_ COUNTY

MY COMMISSION No. \_\_\_\_\_ PRINTED FULL NAME OF NOTARY \_\_\_\_\_

**CITY COUNCIL APPROVAL**  
PRESENTED TO THE HYRUM CITY COUNCIL THIS \_\_\_\_\_ DAY  
OF \_\_\_\_\_, 20\_\_\_\_, AT WHICH TIME THIS SUBDIVISION WAS  
APPROVED AND ACCEPTED.

HYRUM CITY MAYOR \_\_\_\_\_ DATE \_\_\_\_\_  
HYRUM CITY RECORDER \_\_\_\_\_ DATE \_\_\_\_\_

FINAL PLAT  
OF  
**MOUNTAIN VIEW ESTATES SOUTH  
SUBDIVISION  
PHASE 6**  
LOCATED IN THE NE 1/4 OF SECTION 10, T10N, R1E, SLB&M  
HYRUM, UTAH

RECORDED # \_\_\_\_\_  
STATE OF UTAH, COUNTY OF CACHE, RECORDED AND FILED AT THE REQUEST  
OF: \_\_\_\_\_

DATE: \_\_\_\_\_ TIME: \_\_\_\_\_ BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_  
\$ \_\_\_\_\_  
FEE \_\_\_\_\_ CACHE COUNTY RECORDER



# MOUNTAIN VIEW ESTATES SOUTH SUBDIVISION

## CONSTRUCTION DOCUMENTS

3/7/2024

VICINITY MAP:



Sheet Number	Sheet Title
C001	COVER SHEET
C002	LEGEND
C100	DEMOLITION PLAN
C101	SHEET OVERVIEW
C101.1	POWER OVERVIEW
C102	PLAN & PROFILE
C103	PLAN & PROFILE
C104	PLAN & PROFILE
C105	PLAN & PROFILE
C106	PLAN & PROFILE
C107	PLAN & PROFILE
C108	PLAN & PROFILE
C109	PLAN & PROFILE
C110	PLAN & PROFILE
C111	PLAN & PROFILE
C112	PLAN & PROFILE
C113	PLAN & PROFILE
C114	PLAN & PROFILE
C201	STORM CALCULATIONS
C202	EROSION CONTROL PLAN
C500	DETAILS
C501	DETAILS
C502	DETAILS

**GENERAL NOTES:**

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A NOTICE TO PROCEED HAS BEEN ISSUED.
- THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY HYRUM CITY DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A SURVEY CREW MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR VERTICAL CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A SURVEY CREW SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE VERTICAL CONTROLLING MONUMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
- CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE OF UTAH AND HYRUM CITY.
- "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT- ISSUING AUTHORITY.
- ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH HYRUM CITY STANDARDS AND SPECIFICATIONS.
- PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF HYRUM.
- DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE CITY INSPECTOR.
- DEVELOPER SHALL SATISFY THE SECURITY OF PERFORMANCE REQUIREMENTS PER HYRUM CITY CODE SECTION 16.20.030.
- THIS DESIGN CONFORMS TO R309-550, TRANSMISSION AND DISTRIBUTION PIPELINES, UTAH DIVISION OF ADMINISTRATIVE RULES.
- ALL MATERIALS WHICH MAY CONTACT DRINKING WATER, INCLUDING PIPES, GASKETS, LUBRICANTS AND O-RINGS, SHALL BE ANSI-CERTIFIED AS MEETING THE REQUIREMENTS OF NSF STANDARD 61, DRINKING WATER SYSTEM COMPONENTS - HEALTH EFFECTS. TO PERMIT FIELD VERIFICATION OF THIS CERTIFICATION, ALL SUCH COMPONENTS SHALL BE APPROPRIATELY STAMPED WITH THE NSF LOGO.

**STANDARD SPECIFICATIONS:**

- HYRUM CITY SPECIFICATIONS MANUAL.
- STORM WATER SPECIFICATIONS ARE PER THE EPA NATIONAL MENU OF STORMWATER BEST MANAGEMENT PRACTICES UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND THE UTAH DEPARTMENT OF WATER QUALITY STORMWATER MANAGEMENT PROGRAM.
- THE SPECIFICATIONS MENTIONED IN ITEMS ONE AND TWO SHALL SUPERSEDE ANY CONFLICTING SPECIFICATIONS CONTAINED WITHIN THESE PLANS.
- DESIGN OF THE CULINARY WATER SYSTEM IMPROVEMENTS MEETS ALL APPLICABLE RULES, STANDARDS & REGULATIONS PER UAC R309-500.

**STANDARD DRAWINGS:**

- HYRUM CITY STANDARD DETAIL DRAWINGS.

**GENERAL NOTES:**

- CURRENT ZONE: R-2
- SETBACKS: PER CITY CODE
- ALL EXPENSES INVOLVING THE NECESSARY IMPROVEMENTS OR EXTENSIONS FOR A CULINARY WATER SYSTEM, SANITARY SEWER SYSTEM, GAS SERVICE, ELECTRICAL SERVICE, TELEPHONE SERVICE, CABLE TELEVISION SERVICE, GRADING AND LANDSCAPING, STORM DRAINAGE SIGNAGE, STREET LIGHTING AND OTHER IMPROVEMENTS SHALL BE PAID FOR BY THE DEVELOPER.

**PROJECT CONTACTS:**

- PROPERTY OWNER & DEVELOPER:  
NEIGHBORHOOD NON-PROFIT HOUSING CORPORATION  
JOSH RUNHAAR, EXECUTIVE DIRECTOR  
195 GOLF COURSE ROAD  
LOGAN, UT 84321  
P: 435.753.1112
- CIVIL ENGINEER:  
CIVIL SOLUTIONS GROUP  
MICHAEL E. TAYLOR  
498 W 1100 S  
PROVIDENCE, UT 84332  
P: 435.213.3762  
E: MTAYLOR@CIVILSOLUTIONSGROUP.NET
- LAND SURVEYOR  
CIVIL SOLUTIONS GROUP  
CURTIS BOWEN  
498 W 1100 S  
PROVIDENCE, UT 84332  
P: 435.720.3761  
E: CBOBOW@CIVILSOLUTIONSGROUP.NET
- HYRUM CITY MAYOR  
STEPHANIE MILLER  
60 WEST MAIN  
HYRUM CITY, UT 84319  
P: 435.245.6033
- HYRUM CITY ENGINEER  
MATTHEW HOLMES  
60 WEST MAIN  
HYRUM CITY, UT 84319  
P: 435.999.8391  
E: MHOLMES@HYRUMCITY.COM
- HYRUM CITY POWER  
TOM COOPER  
P: 435.245.6033
- UTAH STORMWATER PERMIT  
UTAH DEPARTMENT OF WATER QUALITY  
P.O. BOX 144870  
SALT LAKE CITY, UTAH 84114-4870  
P: 801.538.6146  
http://www.waterquality.utah.gov/UPDES/stormwater.htm
- DOMINION ENERGY:  
KRISTI FIEDEL  
895 WEST 800 NORTH  
LOGAN, UTAH 84321  
P: 435.752.7751
- HYRUM WATER/ ROADS SUPERINTENDENT  
KADE MAUGHAN  
P: 435.245.6033
- HYRUM SEWER  
ANGELA PRITCHETT  
P: 435.245.6033



**MOUNTAIN VIEW ESTATES  
SOUTH SUBDIVISION**  
6200 S 1330 E  
HYRUM, UT 84319

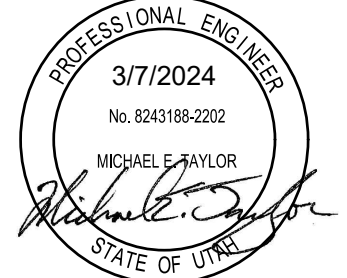
MARK	DATE	DESCRIPTION
1	8.21.23	UTILITY SERVICE LOCATION CHANGES

PROJECT #: 20-209  
DRAWN BY: L. MUMFORD  
PROJECT MANAGER: M. TAYLOR  
ISSUED: 3/7/2024

**Know what's below. Call 811 before you dig.**

**BLUE STAKES OF UTAH**  
UTILITY NOTIFICATION CENTER, INC.  
www.bluestakes.org  
1-800-662-4111

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY OTHER PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF CIVIL SOLUTIONS GROUP, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT. THESE PLANS ARE DRAWN TO SCALE WHEN PLOTTED ON A 24" X 36" SHEET OF PAPER. THESE PLANS ARE PRODUCED IN COLOR AND SHOULD BE PLOTTED AS SUCH.



**COVER SHEET**

**C001**



### LEGEND EXISTING

- ADJACENT PROPERTY BOUNDARY
- CULINARY WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- IRRIGATION LINE
- GAS LINE
- UNDERGROUND POWER LINE
- AERIAL POWER LINE
- UNDERGROUND COMMUNICATION LINE
- CONTOUR MINOR
- CONTOUR MAJOR
- FENCE
- ASPHALT PAVEMENT
- CLOSED FACE CURB AND GUTTER
- OPEN FACE CURB AND GUTTER
- CONCRETE PAVEMENT
- EXISTING TO BE REMOVED
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- SEWER MANHOLE
- STORM DRAIN BOX
- STORM WATER CATCH BASIN
- ROAD SIGN
- POWER POLE
- DECIDUOUS TREE
- CONIFEROUS TREE

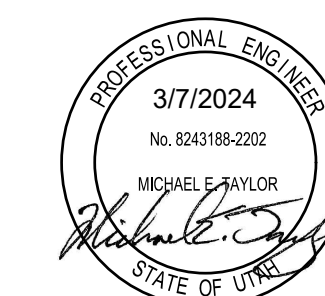
### LEGEND PROPOSED

- PROPERTY BOUNDARY
- CULINARY WATER LINE (SIZE SHOWN ON PLAN)
- SANITARY SEWER LINE (SIZE SHOWN ON PLAN)
- STORM DRAIN LINE (SIZE SHOWN ON PLAN)
- IRRIGATION LINE (SIZE SHOWN ON PLAN)
- GAS LINE
- UNDERGROUND POWER LINE
- AERIAL POWER LINE
- UNDERGROUND COMMUNICATION LINE
- CONTOUR MAJOR
- CONTOUR MINOR
- FENCE
- BUILDING SETBACK
- ASPHALT PAVEMENT
- CLOSED FACE CURB & GUTTER
- OPEN FACE CURB & GUTTER
- CURB & GUTTER TRANSITION
- CONCRETE PAVEMENT
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- SEWER MANHOLE
- STORM DRAIN BOX
- STORM WATER CATCH BASIN
- ROAD SIGN
- STREET LIGHT

SUGGESTION: SIMILAR SYMBOLS AND LETTERS CAN OFTEN BE CONFUSED. MIGHT CONSIDER UGE FOR UNDERGROUND ELECTRIC, OHE FOR OVERHEAD ELECTRIC, AND T (UGT/OHT) OR TEL FOR TELECOMMUNICATION. THE UPPERCASE AND LOWER CASE C ARE NOT DIFFERENTIATED WELL.

MARK	DATE	DESCRIPTION
▲	8.21.23	UTILITY SERVICE LOCATION CHANGES

PROJECT #: 20-209  
 DRAWN BY: L. MUMFORD  
 PROJECT MANAGER: M. TAYLOR  
 ISSUED: 3/7/2024



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### LEGEND

C002





**GENERAL NOTES:**

- CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND CONTACT ENGINEER IF DIFFERENT FROM LOCATIONS DISPLAYED ON THESE PLANS.
- MINIMUM 18" OF VERTICAL SEPARATION REQUIRED BETWEEN WATER MAIN AND SEWER MAIN WHERE LINES INTERSECT.
- MINIMUM OF 10' FROM OUTSIDE-OF-PIPE TO OUTSIDE-OF-PIPE REQUIRED BETWEEN CULINARY WATER LINE AND ALL OTHER WET UTILITIES.
- ALL SEWER, IRRIGATION, STORM DRAIN AND CULINARY WATER LINES SHALL BE INSTALLED PER UTILITY TRENCHING DETAIL FOUND IN STANDARD DETAIL 02 ON SHEET C500.
- ALL CULINARY WATER AND IRRIGATION LINES SHALL BE ANWA C900 DR18. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5' OF COVER, AND IRRIGATION LINES WITH A MINIMUM OF 3' OF COVER.
- ALL SEWER AND WATER SERVICES SHALL BE INSTALLED IN FRONT CENTER OF LOT UNLESS OTHERWISE NOTED. PROVIDE 11-FT HORIZONTAL SEPARATION BETWEEN CENTERLINES OF WATER & SEWER, 6-FT HORIZONTAL SEPARATION BETWEEN SECONDARY IRRIGATION AND SEWER.
- ALL WATER SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 04 ON SHEET C501. 1" WATER SERVICES SHALL BE TYPE K COPPER WITH 24" "WHITE" BARRELS. THE CITY WILL PROVIDE AND SET THE METERS. ALL OTHER PARTS (SERVICE LATERAL PIPING, SETTERS, BARRELS, ETC.) SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. PRIOR TO INSTALLATION OF BARRELS, LOCATIONS SHALL BE DETERMINED USING CONSTRUCTION STAKING METHODS.
- ALL SEWER SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 1 ON SHEET C500.
- ALL SEWER LINES SHALL BE CONSTRUCTED OF PVC SDR-35 MATERIAL.
- ALL SEWER MANHOLES SHALL BE INSTALLED PER STANDARD DETAIL 06 ON SHEET C500.
- ALL SECONDARY IRRIGATION SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 03 ON SHEET C500.
- ALL IRRIGATION MAIN PIPE SHALL BE "PURPLE PIPE" FOR USE WITH RECLAIMED WATER SYSTEMS AS IS REQUIRED BY STATE REGULATIONS.
- SEWER CONNECTIONS TO SEWER MANHOLES SHALL BE GROUTED USING NON-SHRINK GROUT.
- CONTRACTOR SHALL PLACE CONCRETE THRUST BLOCKS ON ALL TEES, WYES, BENDS, ANGLES, ETC ON ALL WATER AND IRRIGATION LINES AS SHOWN IN DETAIL 04 ON SHEET C500.
- POWER - CONTRACTOR SHALL COORDINATE WITH OWNER AND ROCKY MOUNTAIN POWER TO DETERMINE PRECISE LOCATION AND LAYOUT OF POWER LINES THROUGH DEVELOPMENT. CONTRACTOR SHALL BE RESPONSIBLE TO TRENCH, BED, INSTALL AND FILL IN THE POWER TRENCH AND PROVIDE THE REQUIRED PVC SCHEDULE 40 CONDUIT.
- TELEPHONE AND CABLE - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR LOCATION OF CONDUIT CROSSINGS AND SHALL INSTALL ALL CONDUITS.
- GAS - CONTRACTOR SHALL COORDINATE INSTALLATION OF GAS WITH QUESTAR GAS.
- CONTRACTOR SHALL INSTALL WIRING JUNCTION FOR STREET LIGHTS AT LOCATIONS PER CITY REQUIREMENTS AND HYRUM POWER. STREET LIGHTS SHALL BE INSTALLED BY ROCKY MOUNTAIN POWER AND HYRUM CITY.
- WATER LINE IS SHOWN TO TOP OF PIPE IN PROFILE.

**MOUNTAIN VIEW ESTATES  
 SOUTH SUBDIVISION**  
 6200 S 1330 E  
 HYRUM, UT 84319

MARK	DATE	DESCRIPTION
1	8.21.23	UTILITY SERVICE LOCATION CHANGES

PROJECT #: 20-209  
 DRAWN BY: L. MUMFORD  
 PROJECT MANAGER: M. TAYLOR  
 ISSUED: 3/7/2024



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**SHEET OVERVIEW**

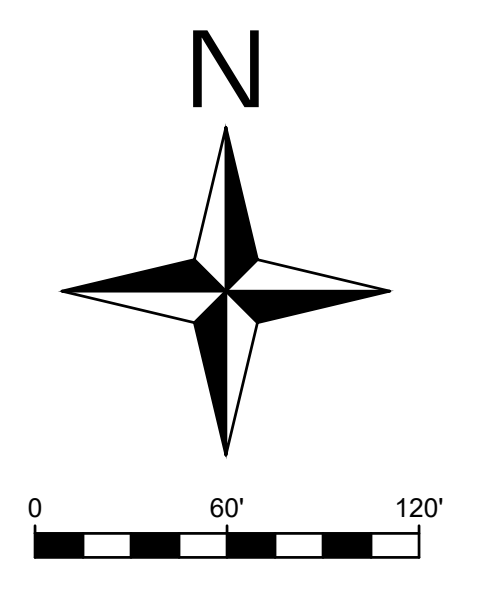
**C101**





**POWER OVERVIEW KEY NOTES:**  
CONTRACTOR TO COORDINATE WITH HYRUM CITY POWER FOR THE INSTALLATION OF THE FOLLOWING ITEMS:

- 1. SWITCHGEAR BOX
- 2. LIGHT POLE
- 3. SINGLE PHASE TRANSFORMER
- 4. SECONDARY BOX



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# MOUNTAIN VIEW ESTATES SOUTH SUBDIVISION

6200 S 1330 E  
HYRUM, UT 84319

MARK	DATE	DESCRIPTION
1	8.21.23	UTILITY SERVICE LOCATION CHANGES

PROJECT #: 20-209  
DRAWN BY: L. MUMFORD  
PROJECT MANAGER: M. TAYLOR  
ISSUED: 3/7/2024

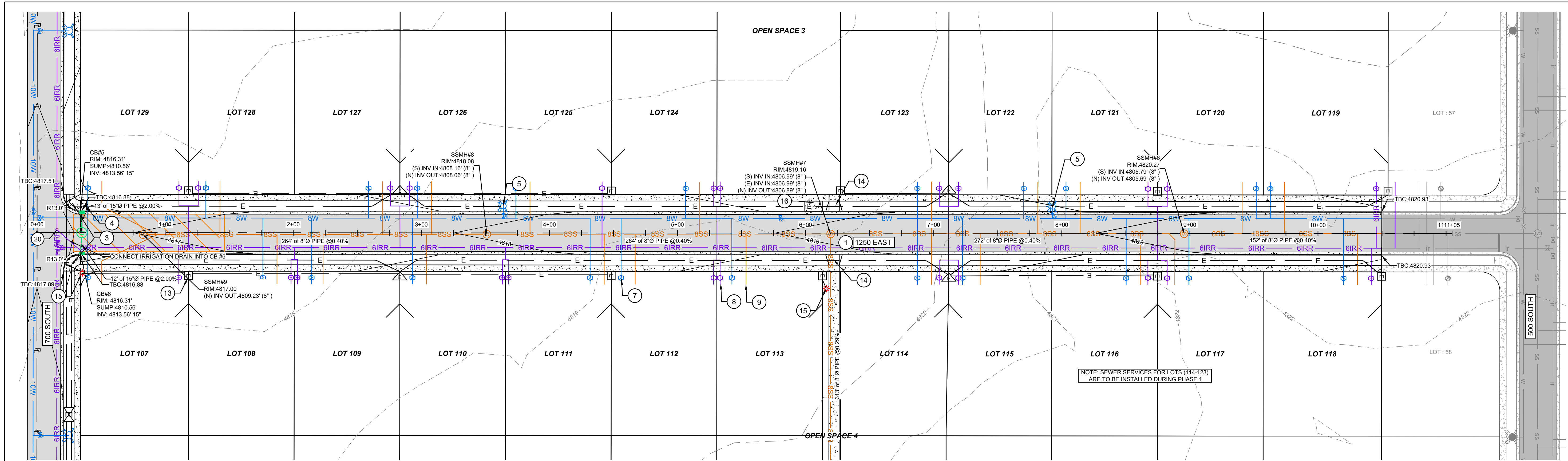


## POWER OVERVIEW

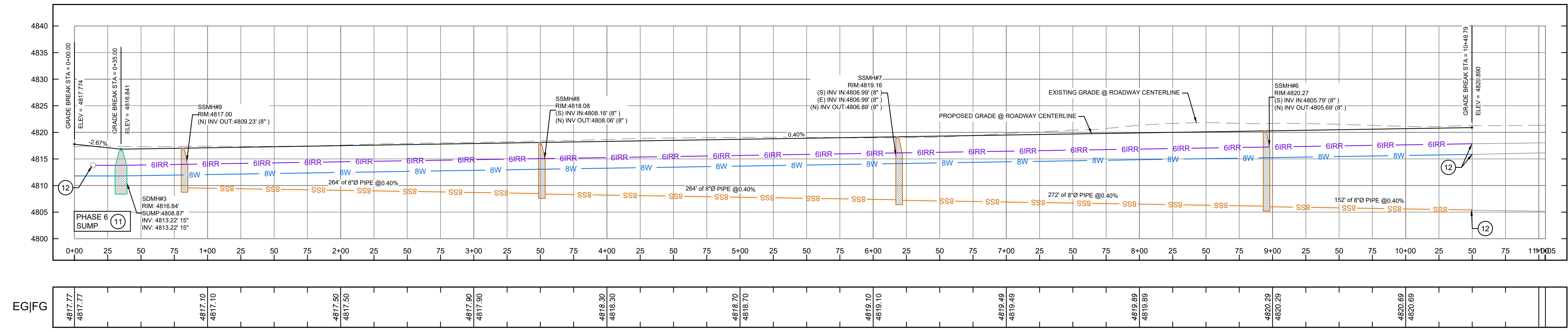
# C101.1

**civilsolutionsgroup inc.**  
CACHE VALLEY | P: 435.213.3762  
SALT LAKE | P: 801.216.3192  
UTAH VALLEY | P: 801.874.1432  
info@civilsolutionsgroup.net  
www.civilsolutionsgroup.net



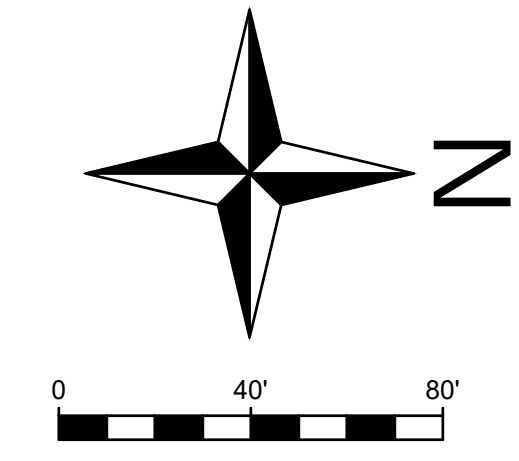


1250 EAST PROFILE



① SHEET KEY NOTES:

1. INSTALL HYRUM CITY 60' ROADWAY CROSS-SECTION PER STANDARD DETAIL 01 ON SHEET C501.
2. INSTALL HYRUM CITY 68' ROADWAY CROSS-SECTION PER STANDARD DETAIL 02 ON SHEET C501.
3. INSTALL ADA RAMP PER STANDARD DETAIL 03 ON SHEET C501.
4. INSTALL STOP SIGN AND STOP BAR PAVEMENT MARKING.
5. INSTALL FIRE HYDRANT ASSEMBLY PER STANDARD DETAIL 05 ON SHEET C500. (HYDRANT MAY BE INSTALLED ON OTHER SIDE OF ROAD IF THERE IS NOT SUFFICIENT SPACE.)
6. INSTALL VALVE ON EACH CULINARY WATER / IRRIGATION LEG PER STANDARD DETAIL 07 ON SHEET C500.
7. INSTALL 3/4" WATER SERVICE (SEE GENERAL NOTE NO. 7).
8. INSTALL IRRIGATION SERVICE AND METER PER STANDARD DETAILS 5 & 6 ON SHEET C502.
9. INSTALL SEWER SERVICE LINE (SEE GENERAL NOTE NO. 8) STANDARD DETAIL 1 ON SHEET C500.
10. INSTALL HYRUM CITY 58' ROADWAY HALF WIDTH CROSS-SECTION STANDARD DETAIL 02 ON SHEET C501.
11. STORM WATER STORAGE SUMP. STANDARD DETAIL 01 ON SHEET C502 AND SIZED PER CALCULATIONS ON C201.
12. CONNECT TO WATER/IRRIGATION MAIN.
13. INSTALL SECONDARY IRRIGATION SERVICE CONNECTION PER STANDARD DETAIL 3 ON SHEET C500.
14. INSTALL MID-BLOCK CROSSING PER DETAIL 7 ON C501
15. INSTALL STREET LIGHT PER HYRUM CITY STANDARDS
16. CONCRETE MAILBOX PAD, SEE SHEET C101 FOR DIMENSIONS
17. 1-1/2" IRRIGATION DRAIN STANDARD DETAIL 01 ON C503



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**MOUNTAIN VIEW ESTATES**  
**SOUTH SUBDIVISION**  
 6200 S 1300 E  
 HYRUM, UTAH

MARK	DATE	DESCRIPTION
1	8.21.23	UTILITY SERVICE LOCATION CHANGES

PROJECT #: 20-209  
 DRAWN BY: L. MUMFORD  
 PROJECT MANAGER: M. TAYLOR  
 ISSUED: 3/7/2024



**PLAN & PROFILE**

**C104**



P:\2020\20-209 MVE Phase 4\AutoCAD\Civil3D\20-209 Storm Water Calculations

Project: MVE South - Phase 1  
Date: 27-Jan-21  
Location: Cache, Utah  
Method: Rational

Project: MVE South - Phase 2  
Date: 27-Jan-21  
Location: Cache, Utah  
Method: Rational

Project: MVE South - Phase 3  
Date: 27-Jan-21  
Location: Cache, Utah  
Method: Rational

Project: MVE South - Phase 4  
Date: 27-Jan-21  
Location: Cache, Utah  
Method: Rational

Project: MVE South - Phase 5  
Date: 27-Jan-21  
Location: Cache, Utah  
Method: Rational

Table with columns: Condition, Area (acres), Runoff Coefficient, Weighted Area. Rows include Impervious (rooftops, driveways, asphalt, concrete) and Pervious (landscaping). Totals: Total Area 5.16 acres, Total Weighted Area 2.80, Weighted Coefficient 0.54.

Table with columns: Condition, Area (acres), Runoff Coefficient, Weighted Area. Rows include Impervious (rooftops, driveways, asphalt, concrete) and Pervious (landscaping). Totals: Total Area 7.19 acres, Total Weighted Area 3.28, Weighted Coefficient 0.46.

Table with columns: Condition, Area (acres), Runoff Coefficient, Weighted Area. Rows include Impervious (rooftops, driveways, asphalt, concrete) and Pervious (landscaping). Totals: Total Area 7.19 acres, Total Weighted Area 3.18, Weighted Coefficient 0.44.

Table with columns: Condition, Area (acres), Runoff Coefficient, Weighted Area. Rows include Impervious (rooftops, driveways, asphalt, concrete) and Pervious (landscaping). Totals: Total Area 7.13 acres, Total Weighted Area 3.22, Weighted Coefficient 0.45.

Table with columns: Condition, Area (acres), Runoff Coefficient, Weighted Area. Rows include Impervious (rooftops, driveways, asphalt, concrete) and Pervious (landscaping). Totals: Total Area 7.63 acres, Total Weighted Area 3.52, Weighted Coefficient 0.46.

Design Storm: 100  
Max Discharge = 0.2 cfs/acre: 1.03 cfs

Design Storm: 100  
Max Discharge = 0.2 cfs/acre: 1.44 cfs

Design Storm: 100  
Max Discharge = 0.2 cfs/acre: 1.44 cfs

Design Storm: 100  
Max Discharge = 0.2 cfs/acre: 1.43 cfs

Design Storm: 100  
Max Discharge = 0.2 cfs/acre: 1.53 cfs

DETENTION w/ PERCOLATION AS CONTROLLED RELEASE. Table with columns: Duration (min), Intensity (in/hr), Pre-Dev. Runoff (cfs), Post-Dev. Runoff (cfs), Total Runoff (CF), Cumulative Allow. Discharge (CF), Detention Storage Req'd (CF). Required Storage Volume: 11,517 Cubic Feet.

DETENTION w/ PERCOLATION AS CONTROLLED RELEASE. Table with columns: Duration (min), Intensity (in/hr), Pre-Dev. Runoff (cfs), Post-Dev. Runoff (cfs), Total Runoff (CF), Cumulative Allow. Discharge (CF), Detention Storage Req'd (CF). Required Storage Volume: 12,661 Cubic Feet.

DETENTION w/ PERCOLATION AS CONTROLLED RELEASE. Table with columns: Duration (min), Intensity (in/hr), Pre-Dev. Runoff (cfs), Post-Dev. Runoff (cfs), Total Runoff (CF), Cumulative Allow. Discharge (CF), Detention Storage Req'd (CF). Required Storage Volume: 12,093 Cubic Feet.

DETENTION w/ PERCOLATION AS CONTROLLED RELEASE. Table with columns: Duration (min), Intensity (in/hr), Pre-Dev. Runoff (cfs), Post-Dev. Runoff (cfs), Total Runoff (CF), Cumulative Allow. Discharge (CF), Detention Storage Req'd (CF). Required Storage Volume: 12,392 Cubic Feet.

DETENTION w/ PERCOLATION AS CONTROLLED RELEASE. Table with columns: Duration (min), Intensity (in/hr), Pre-Dev. Runoff (cfs), Post-Dev. Runoff (cfs), Total Runoff (CF), Cumulative Allow. Discharge (CF), Detention Storage Req'd (CF). Required Storage Volume: 13,666 Cubic Feet.

Project: MVE South - Phase 6  
Date: 27-Jan-21  
Location: Cache, Utah  
Method: Rational

Project: MVE South - Phase 7  
Date: 27-Jan-21  
Location: Cache, Utah  
Method: Rational

Project: MVE South - Phase 8  
Date: 27-Jan-21  
Location: Cache, Utah  
Method: Rational

Table with columns: Condition, Area (acres), Runoff Coefficient, Weighted Area. Rows include Impervious (rooftops, driveways, asphalt, concrete) and Pervious (landscaping). Totals: Total Area 7.30 acres, Total Weighted Area 3.40, Weighted Coefficient 0.47.

Table with columns: Condition, Area (acres), Runoff Coefficient, Weighted Area. Rows include Impervious (rooftops, driveways, asphalt, concrete) and Pervious (landscaping). Totals: Total Area 7.99 acres, Total Weighted Area 3.54, Weighted Coefficient 0.44.

Table with columns: Condition, Area (acres), Runoff Coefficient, Weighted Area. Rows include Impervious (rooftops, driveways, asphalt, concrete) and Pervious (landscaping). Totals: Total Area 7.58 acres, Total Weighted Area 3.51, Weighted Coefficient 0.46.

Design Storm: 100  
Max Discharge = 0.2 cfs/acre: 1.46 cfs

Design Storm: 100  
Max Discharge = 0.2 cfs/acre: 1.60 cfs

Design Storm: 100  
Max Discharge = 0.2 cfs/acre: 1.52 cfs

DETENTION w/ PERCOLATION AS CONTROLLED RELEASE. Table with columns: Duration (min), Intensity (in/hr), Pre-Dev. Runoff (cfs), Post-Dev. Runoff (cfs), Total Runoff (CF), Cumulative Allow. Discharge (CF), Detention Storage Req'd (CF). Required Storage Volume: 13,224 Cubic Feet.

DETENTION w/ PERCOLATION AS CONTROLLED RELEASE. Table with columns: Duration (min), Intensity (in/hr), Pre-Dev. Runoff (cfs), Post-Dev. Runoff (cfs), Total Runoff (CF), Cumulative Allow. Discharge (CF), Detention Storage Req'd (CF). Required Storage Volume: 13,477 Cubic Feet.

DETENTION w/ PERCOLATION AS CONTROLLED RELEASE. Table with columns: Duration (min), Intensity (in/hr), Pre-Dev. Runoff (cfs), Post-Dev. Runoff (cfs), Total Runoff (CF), Cumulative Allow. Discharge (CF), Detention Storage Req'd (CF). Required Storage Volume: 13,647 Cubic Feet.

STORM WATER STORAGE SUMP SIZES

PHASE 1 & 2: DRAINAGE TO BE DETAINED IN A 29'x208'x10' DEEP DRY-WELL... TOP OF STONE: 4823.60'... BOTTOM OF STONE: 4813.60'... 60,445 CF TOTAL... 24,178 CF NET VOIDS

PHASE 3: DRAINAGE TO BE DETAINED IN A 29'x105'x10' DEEP DRY-WELL... TOP OF STONE: 4820.23'... BOTTOM OF STONE: 4810.23'... 30,232 CF TOTAL... 12,093 CF NET VOIDS

PHASE 4: DRAINAGE TO BE DETAINED IN A 37'x84'x10' DEEP DRY-WELL... TOP OF STONE: 4817.91'... BOTTOM OF STONE: 4807.91'... 30,980 CF TOTAL... 12,392 CF NET VOIDS

PHASE 5: DRAINAGE TO BE DETAINED IN A 29'x118'x10' DEEP DRY-WELL... TOP OF STONE: 4815.80'... BOTTOM OF STONE: 4805.80'... 34,150 CF TOTAL... 13,660 CF NET VOIDS

PHASE 6: DRAINAGE TO BE DETAINED IN A 29'x114'x10' DEEP DRY-WELL... TOP OF STONE: 4813.95'... BOTTOM OF STONE: 4803.95'... 33,060 CF TOTAL... 13,224 CF NET VOIDS

PHASE 7: DRAINAGE TO BE DETAINED IN A 29'x116'x10' DEEP DRY-WELL... TOP OF STONE: 4811.85'... BOTTOM OF STONE: 4801.65'... 33,617 CF TOTAL... 13,477 CF NET VOIDS

PHASE 8: DRAINAGE TO BE DETAINED IN A 29'x118'x15' DEEP DRY-WELL... TOP OF STONE: 4809.40'... BOTTOM OF STONE: 4799.40'... 34,117 CF TOTAL... 13,647 CF NET VOIDS

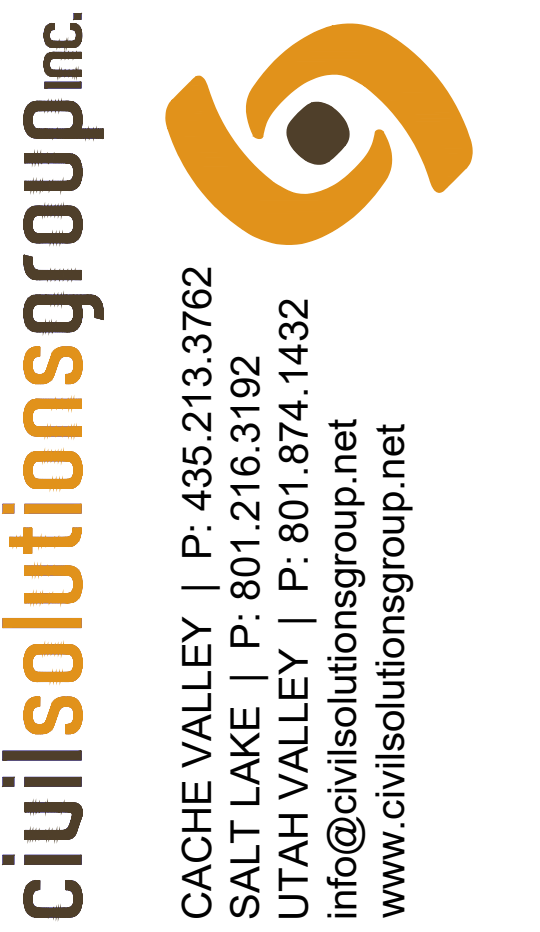
STORM WATER SUMMARY

PHASE

Summary table for Storm Water Summary with columns: SURFACE TYPE, 1, 2, 3, 4, 5, 6, 7, 8. Rows include Asphalt (ac), Sidewalk (ac), Curb & Gutter (ac), House area\* (ac), Driveways\*\* (ac), Total hardscape (ac), Total open (ac), Total area (ac), and Storage Required.

\*Assumes 2,400 sf home footprint

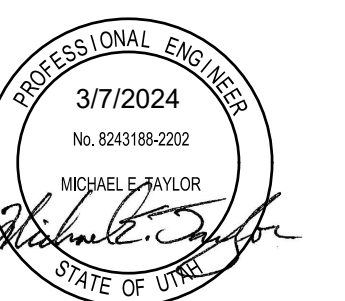
\*\* Assumes 20x25 Driveways



MOUNTAIN VIEW ESTATES SOUTH SUBDIVISION 6200 S 1300 E HYRUM, UTAH

Table with columns: MARK, DATE, DESCRIPTION. Entry: B.21.23 UTILITY SERVICE LOCATION CHANGES.

PROJECT #: 20-209  
DRAWN BY: L. MUMFORD  
PROJECT MANAGER: M. TAYLOR  
ISSUED: 3/7/2024

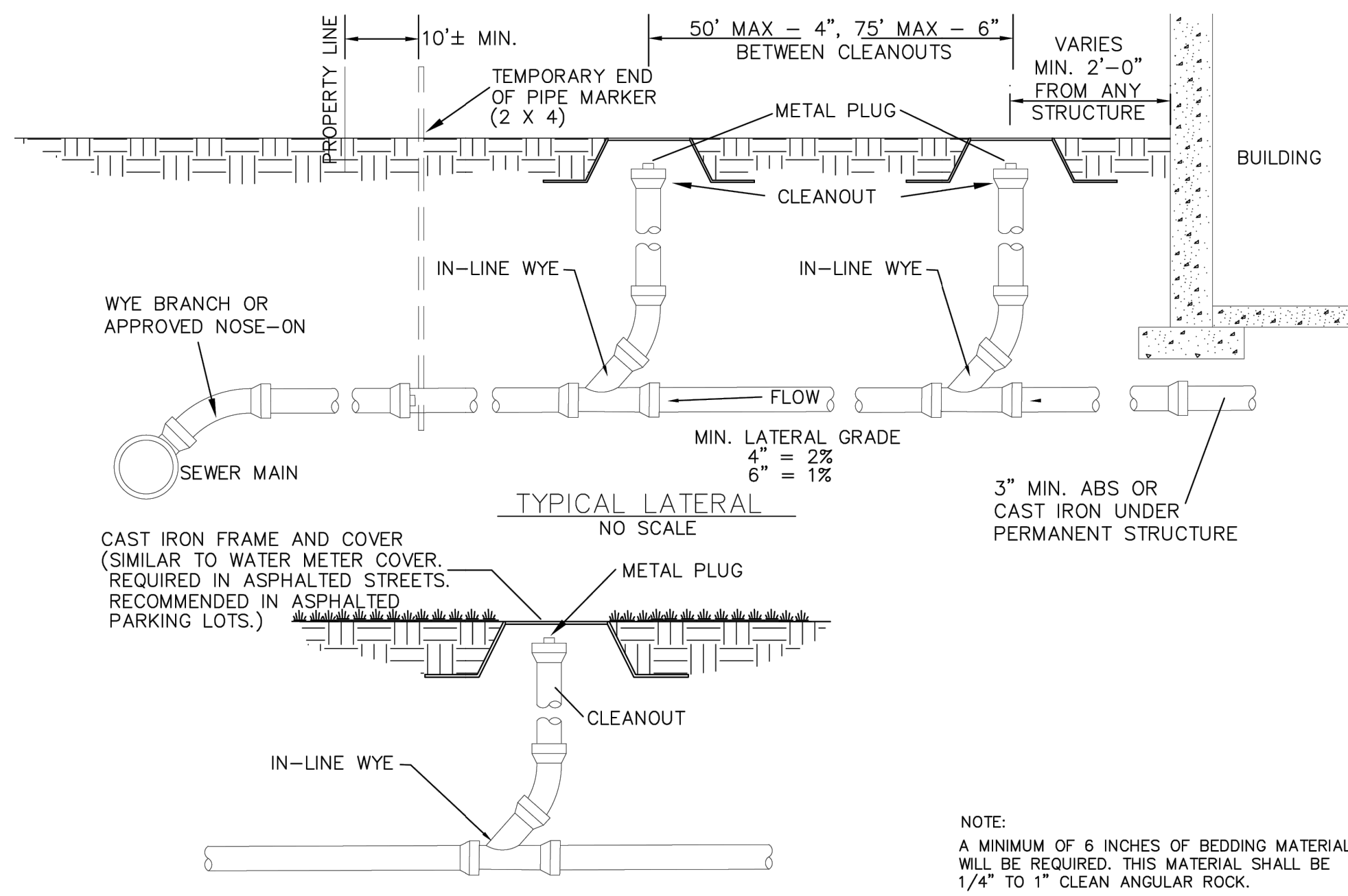


STORM CALCULATIONS

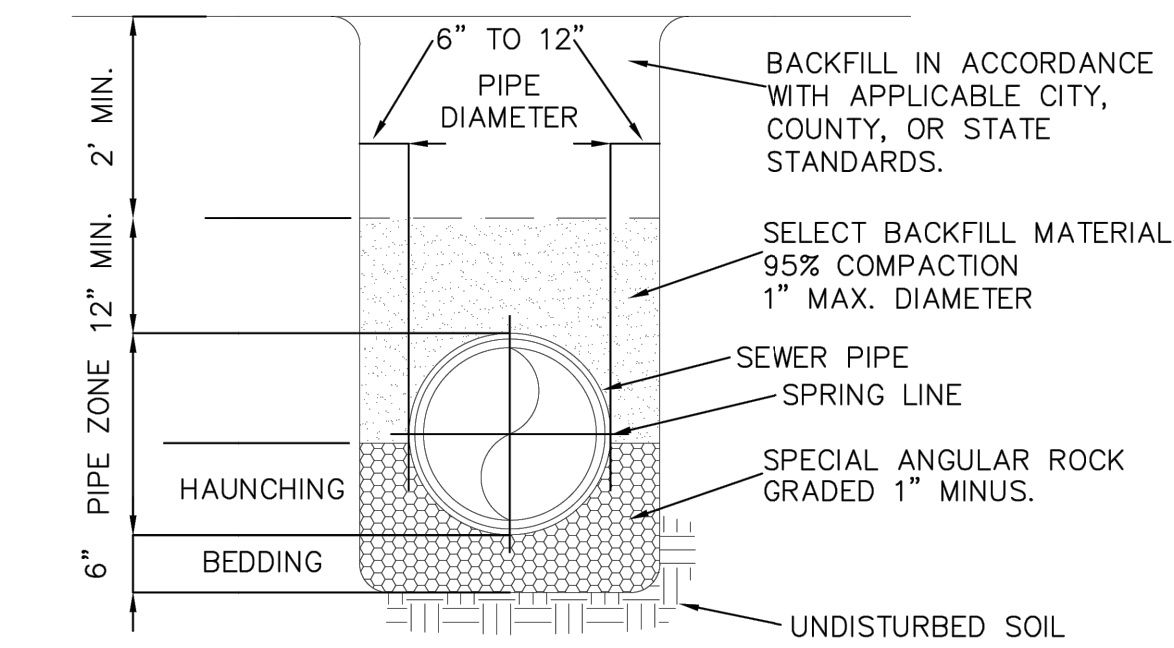




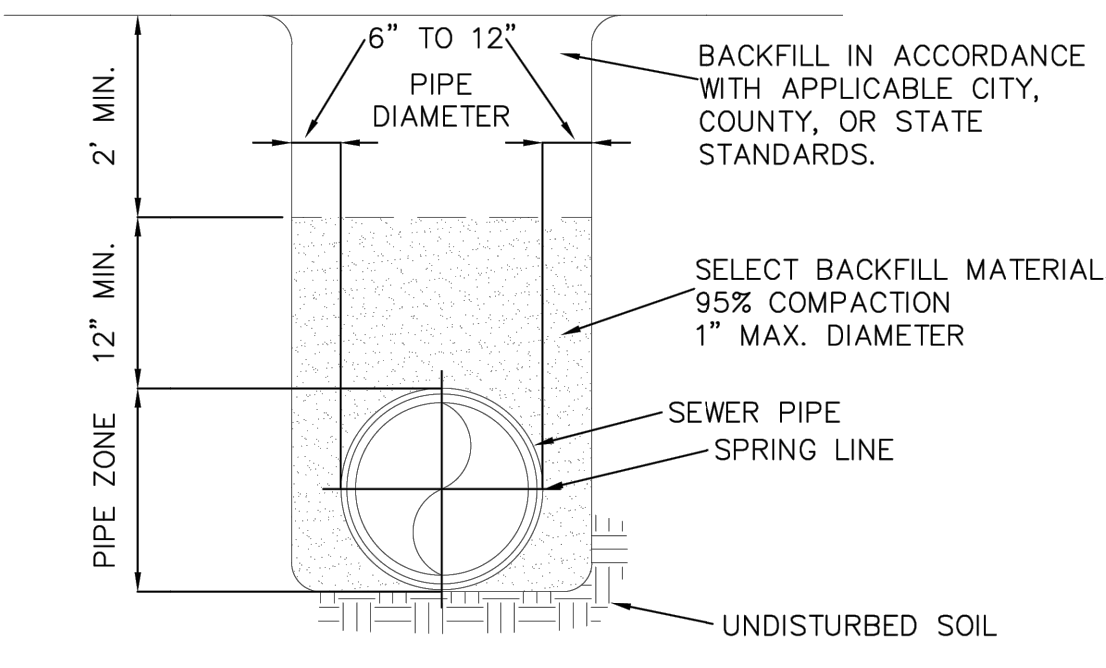




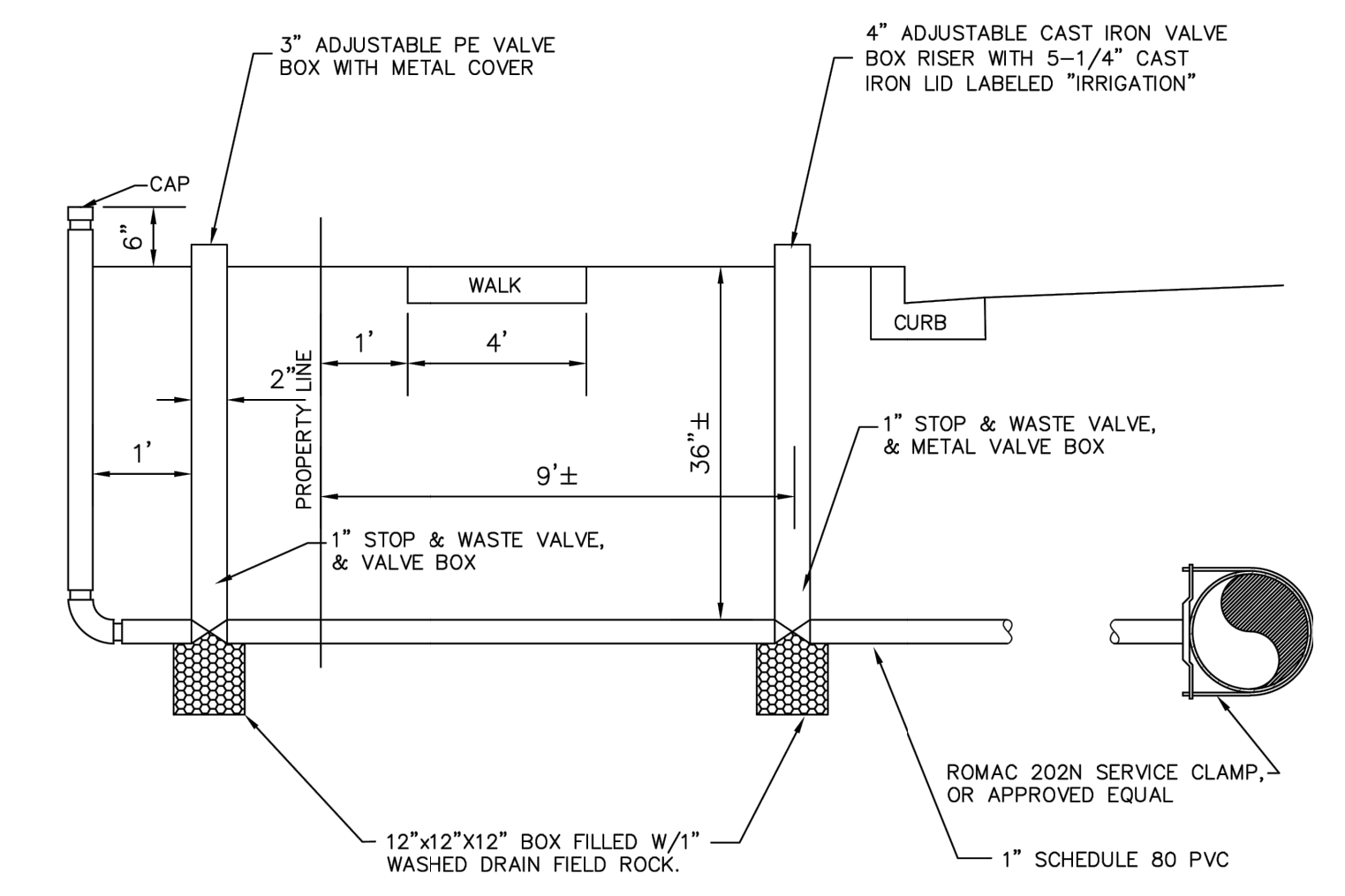
1 SEWER SERVICE LATERAL  
NOT TO SCALE  
C500



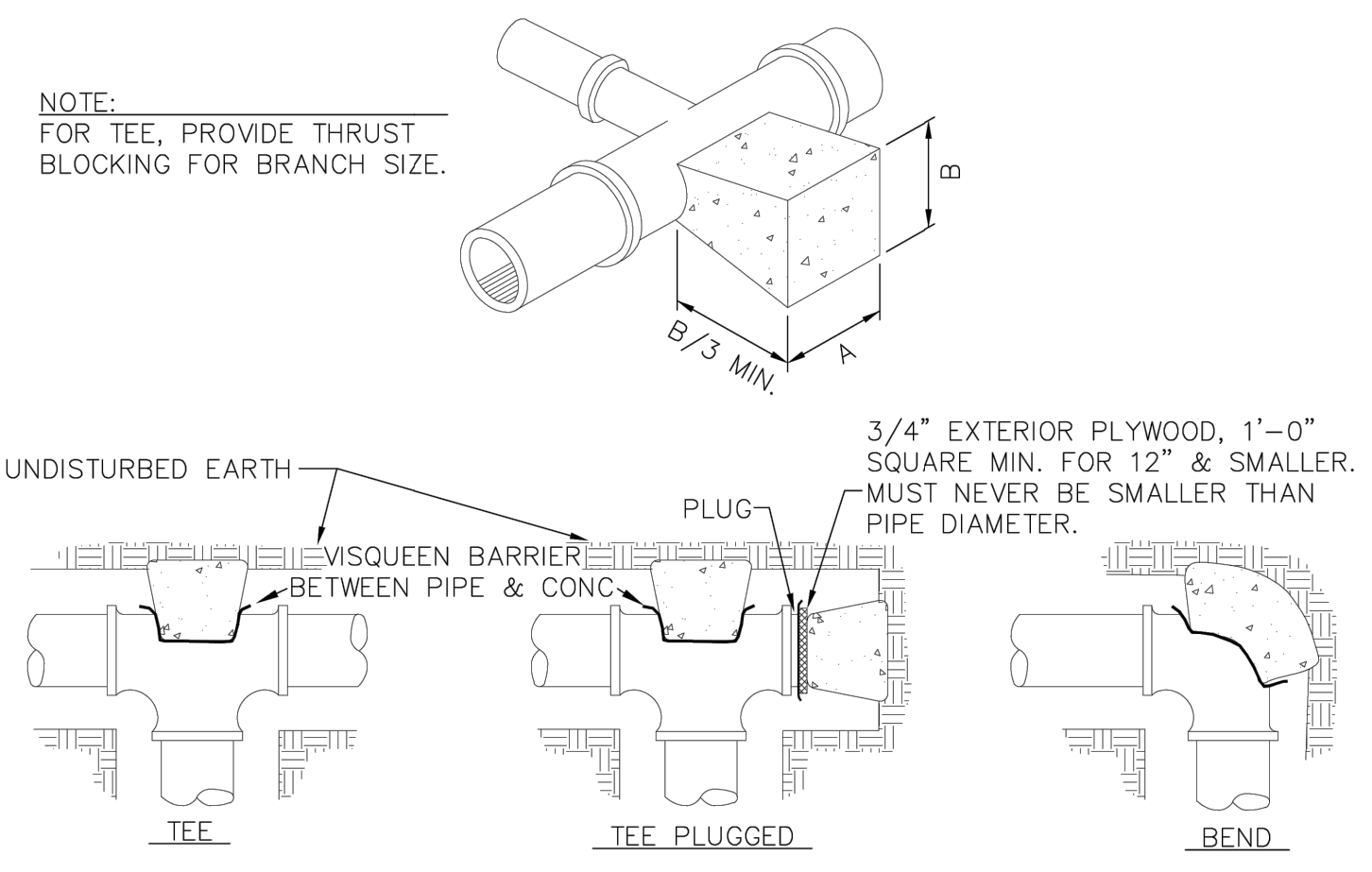
2 PIPE TRENCH DETAIL  
NOT TO SCALE  
C500



3 RIGID PIPE ON SUITABLE SUBGRADE  
NOT TO SCALE  
C500



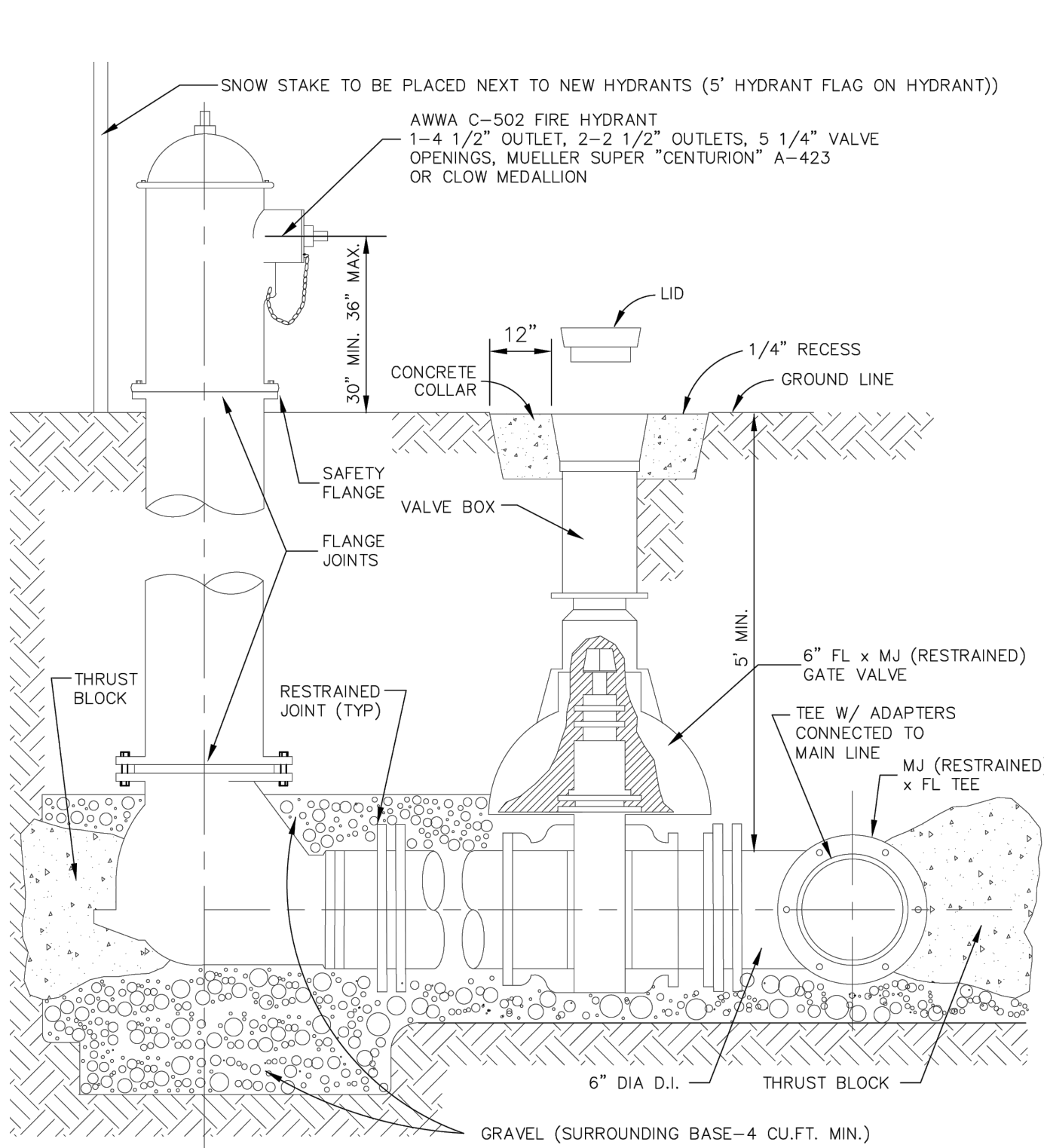
4 SECONDARY IRRIGATION SERVICE CONNECTION  
NOT TO SCALE  
C500



FITTING SIZES	TEES & PLUGS		90° BENDS		45° BENDS & "Y" S		22 1/2° BENDS	
	A	B	A	B	A	B	A	B
4"	1'-6"	1'-6"	1'-6"	1'-9"	1'-3"	0'-6"	1'-0"	0'-6"
6"	2'-0"	1'-0"	2'-0"	2'-0"	1'-3"	1'-6"	1'-0"	1'-5"
8"	2'-0"	1'-6"	2'-3"	2'-3"	1'-8"	1'-8"	1'-0"	1'-3"
10"	2'-6"	2'-3"	2'-9"	2'-10"	2'-3"	1'-10"	1'-3"	2'-0"
12"	3'-0"	2'-9"	3'-6"	3'-3"	2'-6"	2'-4"	2'-0"	1'-6"
14"	3'-5"	3'-0"	4'-0"	3'-8"	3'-6"	2'-4"	2'-0"	2'-3"
16"	4'-0"	3'-6"	5'-0"	4'-0"	3'-6"	3'-0"	2'-6"	2'-3"
18"	4'-0"	4'-3"	6'-0"	4'-0"	4'-0"	3'-3"	2'-9"	2'-6"
20"	5'-0"	4'-3"	6'-0"	5'-0"	4'-3"	4'-0"	3'-0"	2'-9"
24"	6'-0"	5'-3"	8'-0"	5'-6"	6'-0"	4'-0"	4'-0"	3'-0"

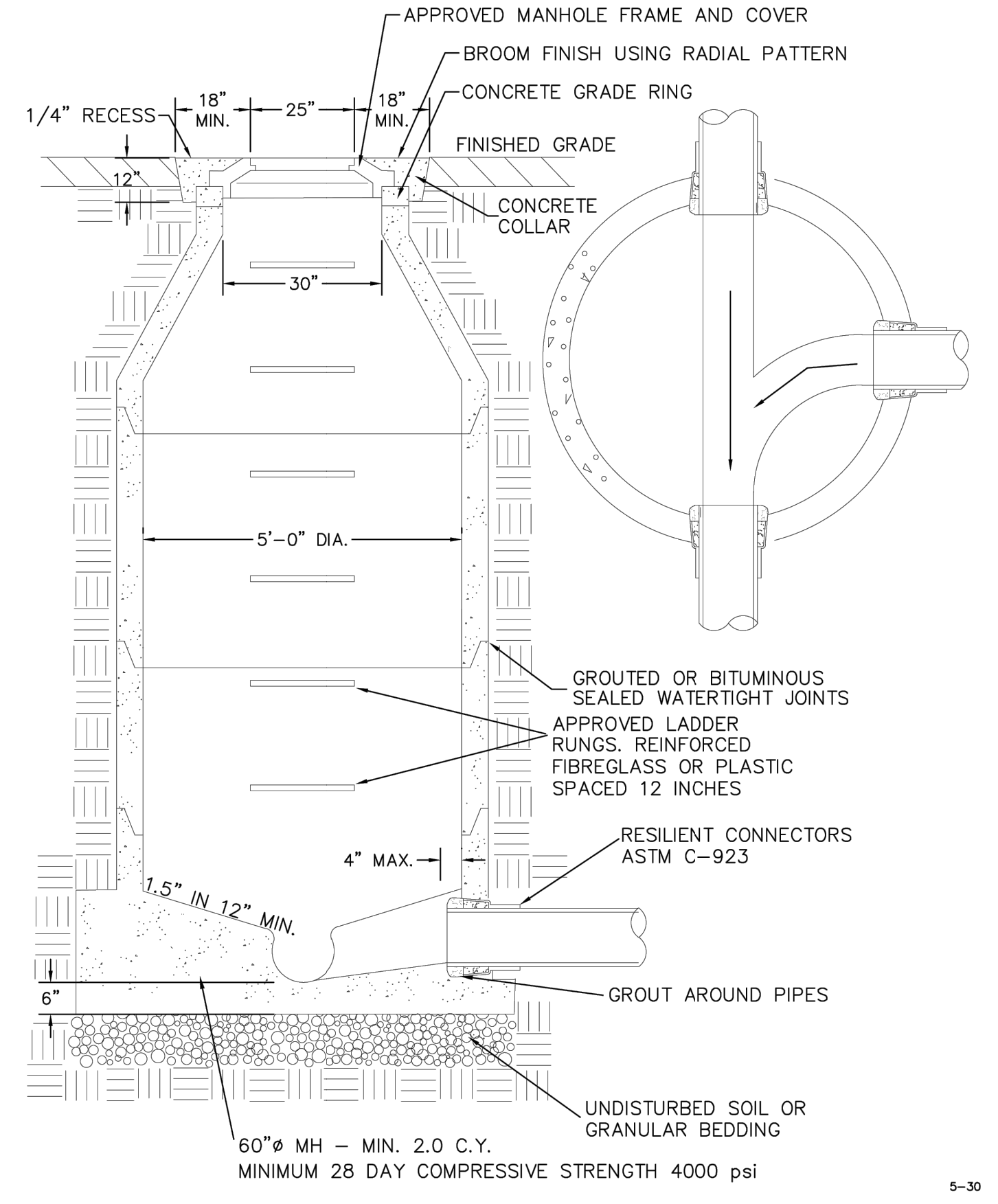
- NOTES:
- THIS TABLE IS BASED ON 200 P.S.I. MAIN PRESSURE AND 2000 P.S.F. SOIL BEARING PRESSURE. ADJUST BEARING AREAS IN ACCORDANCE WITH SOIL CONDITIONS AND PRESSURES ENCOUNTERED.
  - FOR ASBESTOS CEMENT PIPE GREATER THAN 6 INCHES IN DIAMETER DOUBLE THE AREA REQUIRED IN THE TABLE ABOVE.
  - USE VISQUEEN BETWEEN CONCRETE AND PIPE.
  - REFER TO CONCRETE STANDARD SPECIFICATIONS.
  - THE "THRUST BLOCKING DETAILS" IN NO WAY LIMITS THE LOCATION OR SIZE OF ADDITIONAL BLOCKING WHEN SO WARRANTED OR REQUIRED BY THE ENGINEER.

5 THRUST BLOCK DETAIL  
NOT TO SCALE  
C500

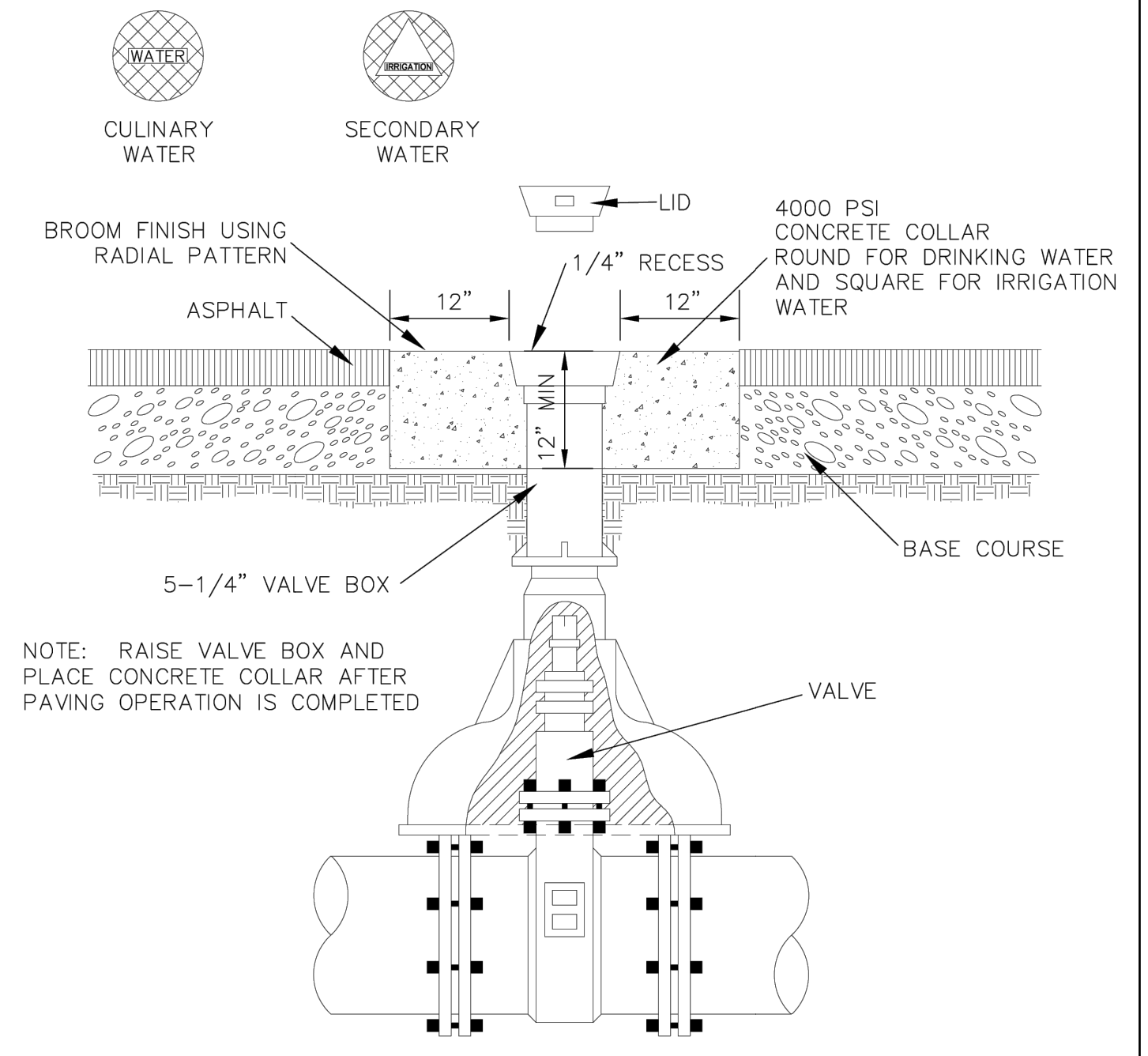


- NOTES:
- ALL FIRE HYDRANTS SHALL BE LOCATED AS SHOWN ON THE PLANS.
  - ALL FIRE HYDRANTS WILL STAND PLUMB WITH THE PUMPER NOZZLE FACING THE STREET.
  - THE VALVE WILL BE LOCATED AS APPROVED BY CITY.
  - PIPE MATERIAL SHALL BE DUCTILE.
  - FOR DETAILED INFORMATION SEE SPECIFICATIONS.
  - RESTRAIN ALL JOINTS FROM MAIN TO FIRE HYDRANT.
  - CONCRETE VALVE COLLAR SHALL BE BROOM FINISHED IN RADIAL PATTERN.

6 FIRE HYDRANT DETAIL  
NOT TO SCALE  
C500



7 SEWER MANHOLE DETAIL  
NOT TO SCALE  
C500



8 CULINARY/SECONDARY VALVE DETAIL  
NOT TO SCALE  
C500

MARK	DATE	DESCRIPTION
1	8.21.23	UTILITY SERVICE LOCATION CHANGES

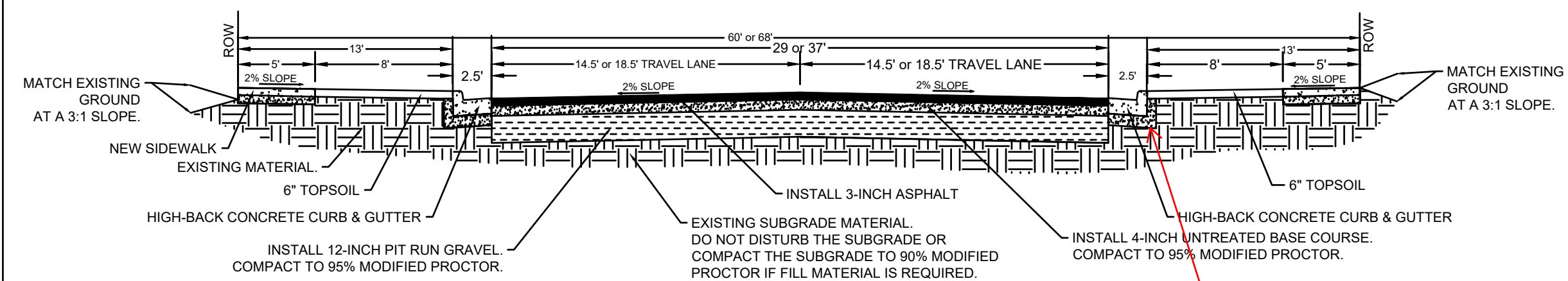
PROJECT #: 20-209  
 DRAWN BY: L. MUMFORD  
 PROJECT MANAGER: M. TAYLOR  
 ISSUED: 3/7/2024



**DETAILS**

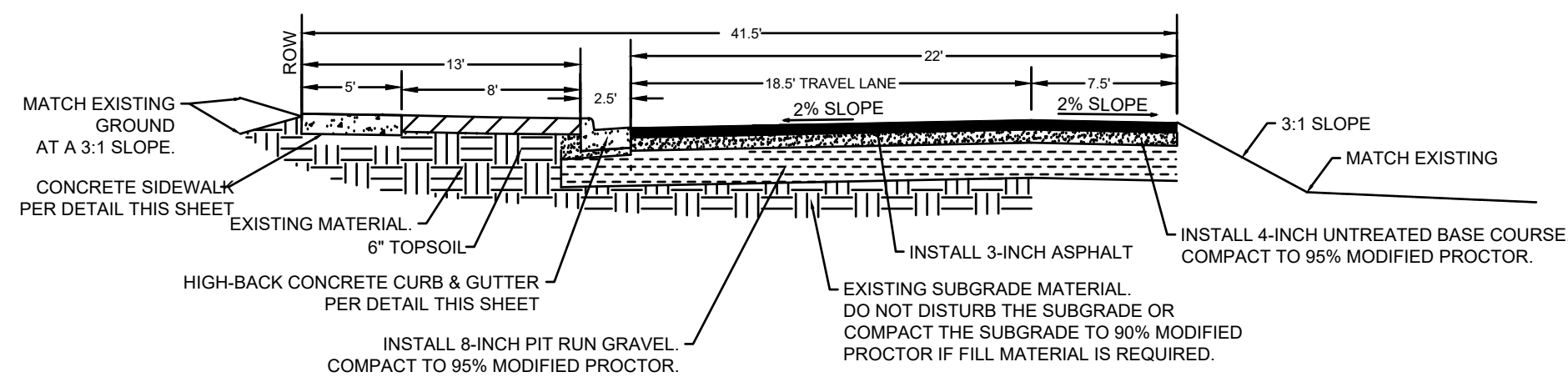
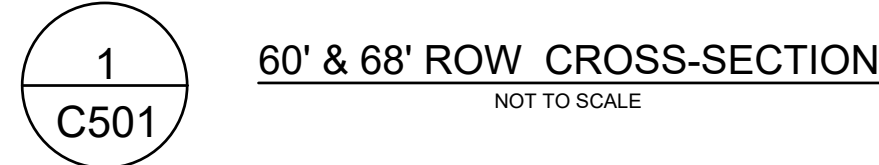
**C500**



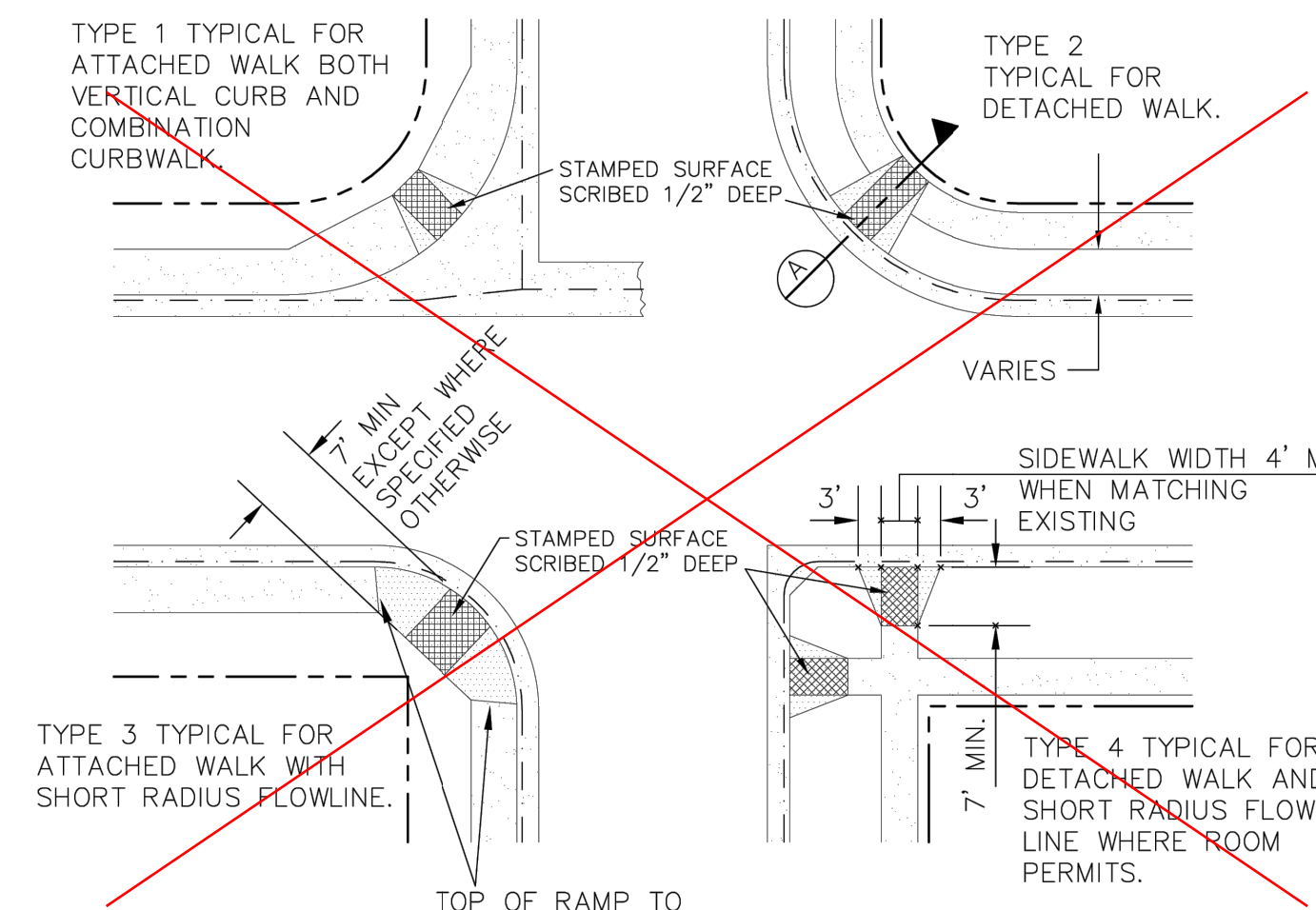
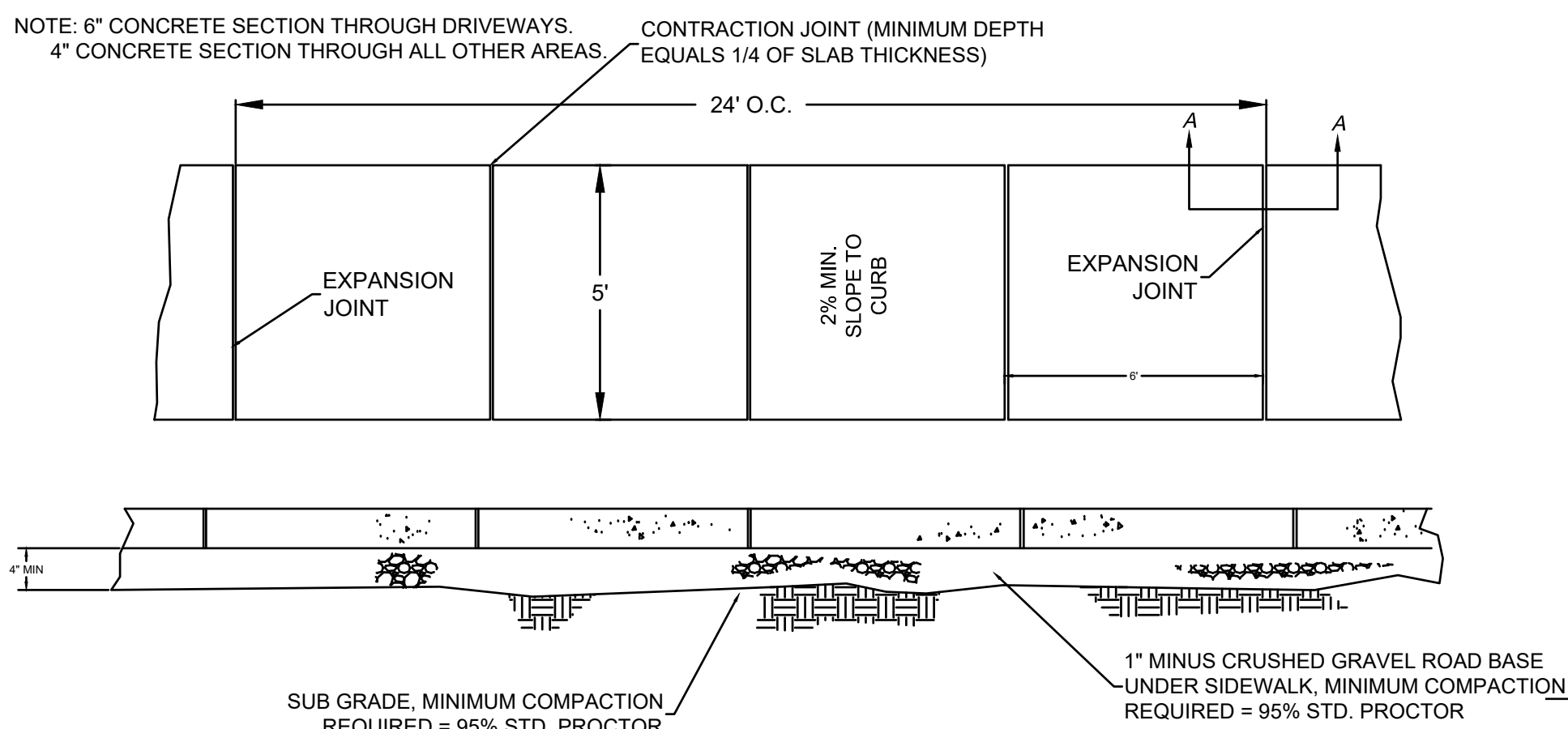
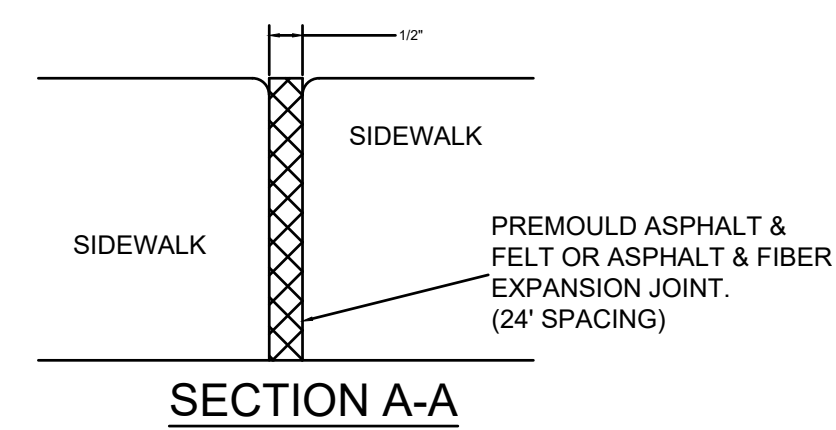


**60-FT or 68-FT ROAD X-SECTION**

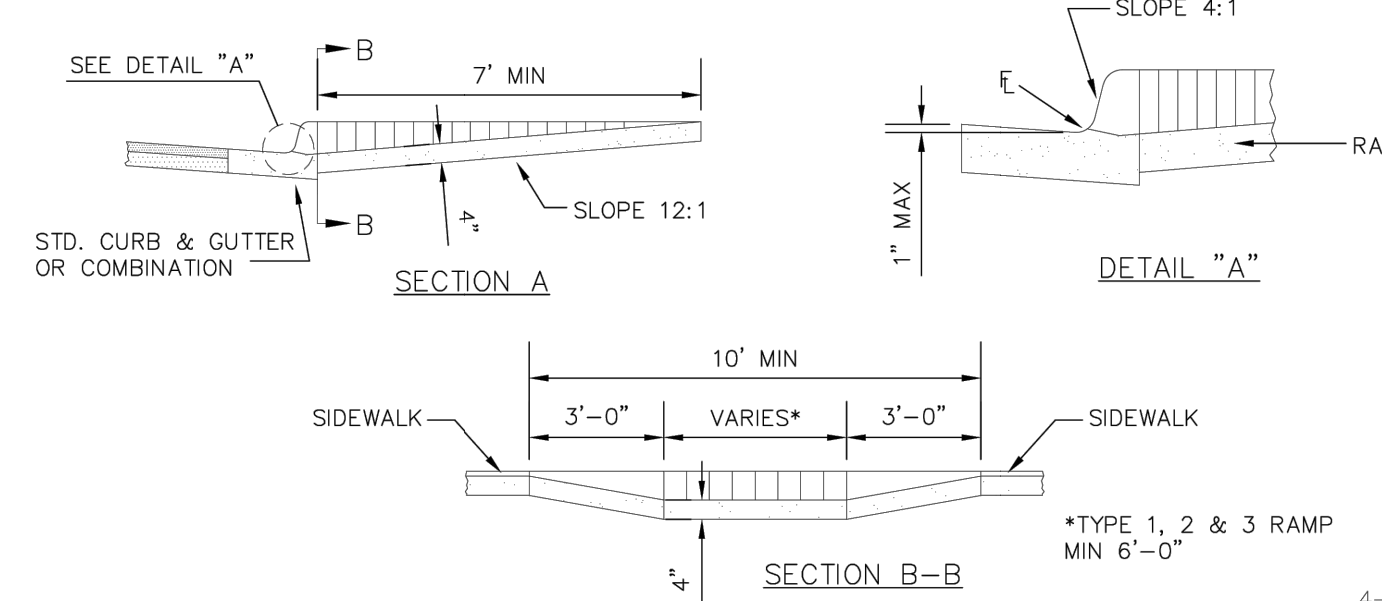
- NOTES:**
- CURB SHALL BE 2.5' HIGH-BACK CURB & GUTTER PER CITY STANDARD (6/C501).
  - INSTALL 4" ROAD BASE OR GRAVEL UNDER THE CURB AND EXTEND ROAD BASE AND PIT RUN GRAVEL 1-FOOT BEHIND CURB.
  - THE CONTRACTOR SHALL COMPACT ALL IMPORTED MATERIAL TO 95% MODIFIED PROCTOR.



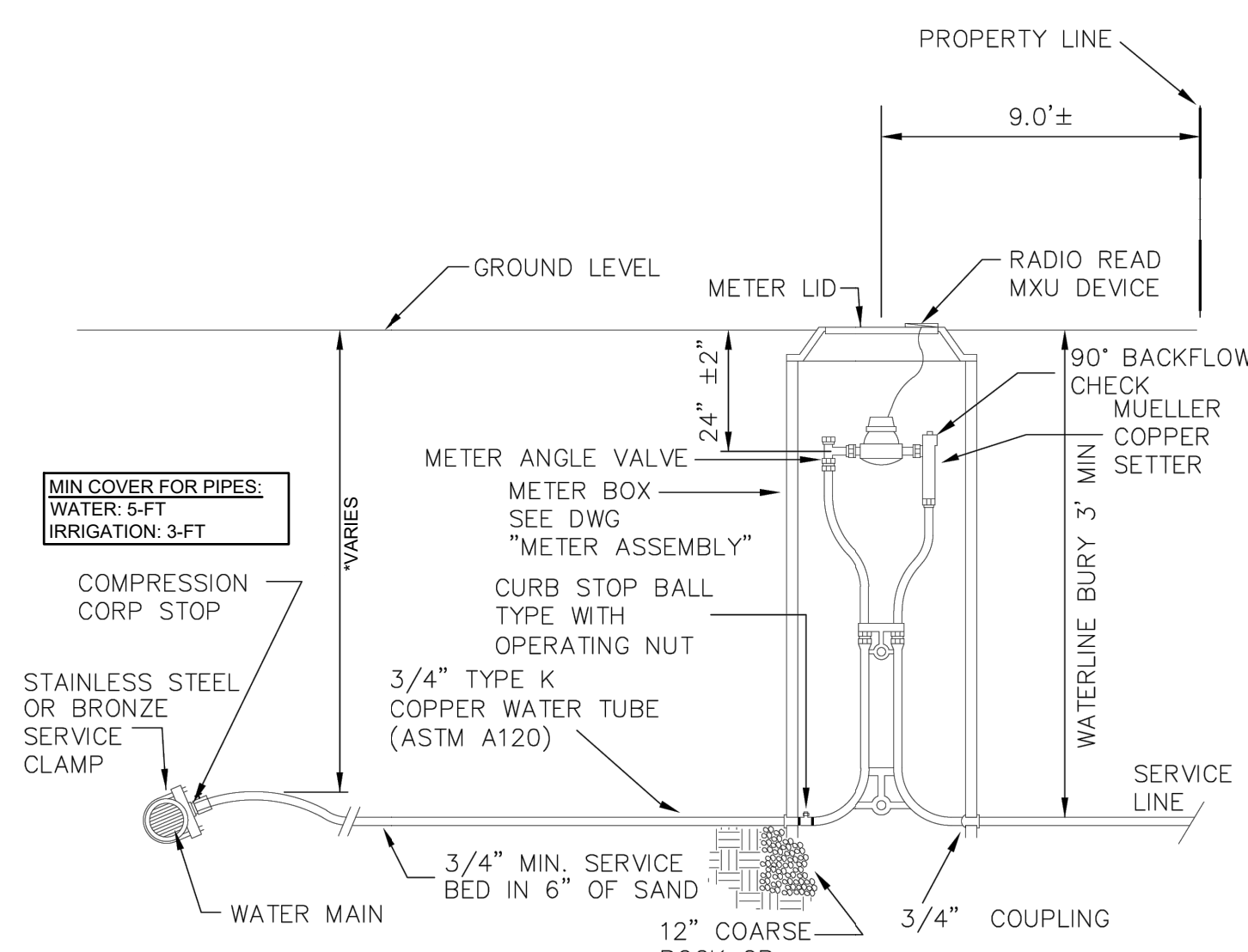
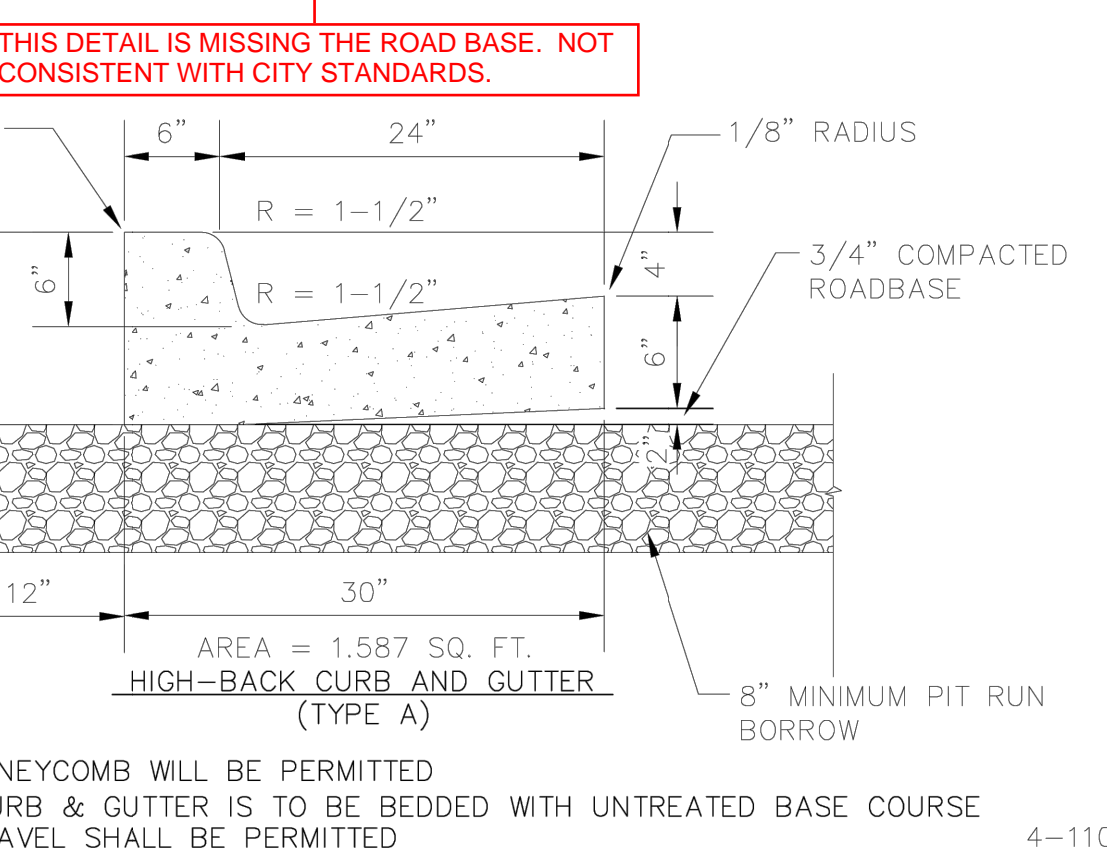
- NOTES:**
- CURB SHALL BE 2.5' HIGH-BACK CURB & GUTTER PER CITY STANDARD (6/C501).
  - INSTALL 4" ROAD BASE OR GRAVEL UNDER THE CURB AND EXTEND ROAD BASE AND PIT RUN GRAVEL 1-FOOT BEHIND CURB.
  - THE CONTRACTOR SHALL COMPACT ALL IMPORTED MATERIAL TO 95% MODIFIED PROCTOR.
  - THE CONTRACTOR SHALL BUILD THE ROAD ACCORDING TO THE CONSTRUCTION PLAN ELEVATIONS AS PROVIDED BY CONSTRUCTION STAKING METHODS.



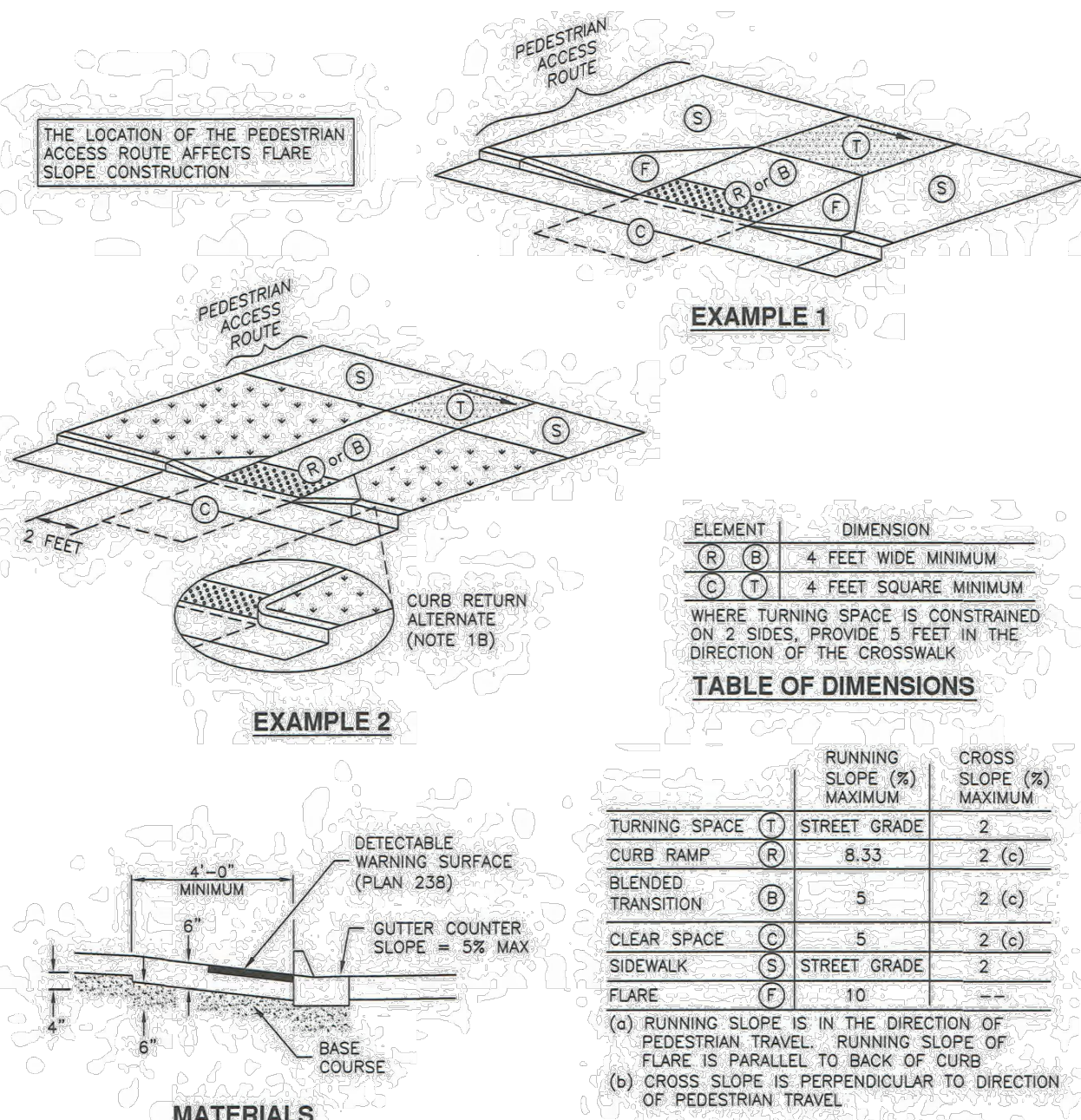
THESE DETAILS NO LONGER MEET ADA REQUIREMENTS. IT MIGHT BE BEST TO HAVE A NOTE TO COORDINATE THE RAMPS WITH CITY PRIOR TO BUILDING THEM.



NOTE: MAX 10' TOOLED CONTROL JOINTS, EXPANSION JOINTS AT 50 FEET UNLESS OTHERWISE APPROVED.

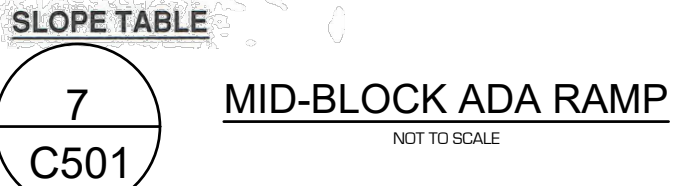


- NOTES:**
- METER BOX SHALL BE SET PLUMB
  - THREADS ON TAP SHALL MATCH THREADS ON CORPORATION STOP.
  - REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL DETAILS.
  - NO METERS ARE TO BE INSTALLED IN SIDEWALK OR DRIVEWAYS UNLESS FIRST APPROVED BY THE CITY.
  - FOR DETAILED INFORMATION SEE SPECIFICATIONS.
  - METER BOX DIAMETERS (MINIMUMS):  
18" Ø FOR 3/4" SERVICE  
24" Ø FOR 1" SERVICE  
48" Ø FOR 1-1/2" OR 2" SERVICE (CONCRETE PIPE SECTION OR MANHOLE)



**TABLE OF DIMENSIONS**

ELEMENT	DIMENSION	
	MINIMUM	MAXIMUM
TURNING SPACE (T)	4 FEET	4 FEET
CURB RAMP (R)	4 FEET	4 FEET
BLENDED TRANSITION (B)	5	2 (c)
CLEAR SPACE (C)	5	2 (c)
SIDEWALK (S)	STREET GRADE	2
FLARE (F)	10	--

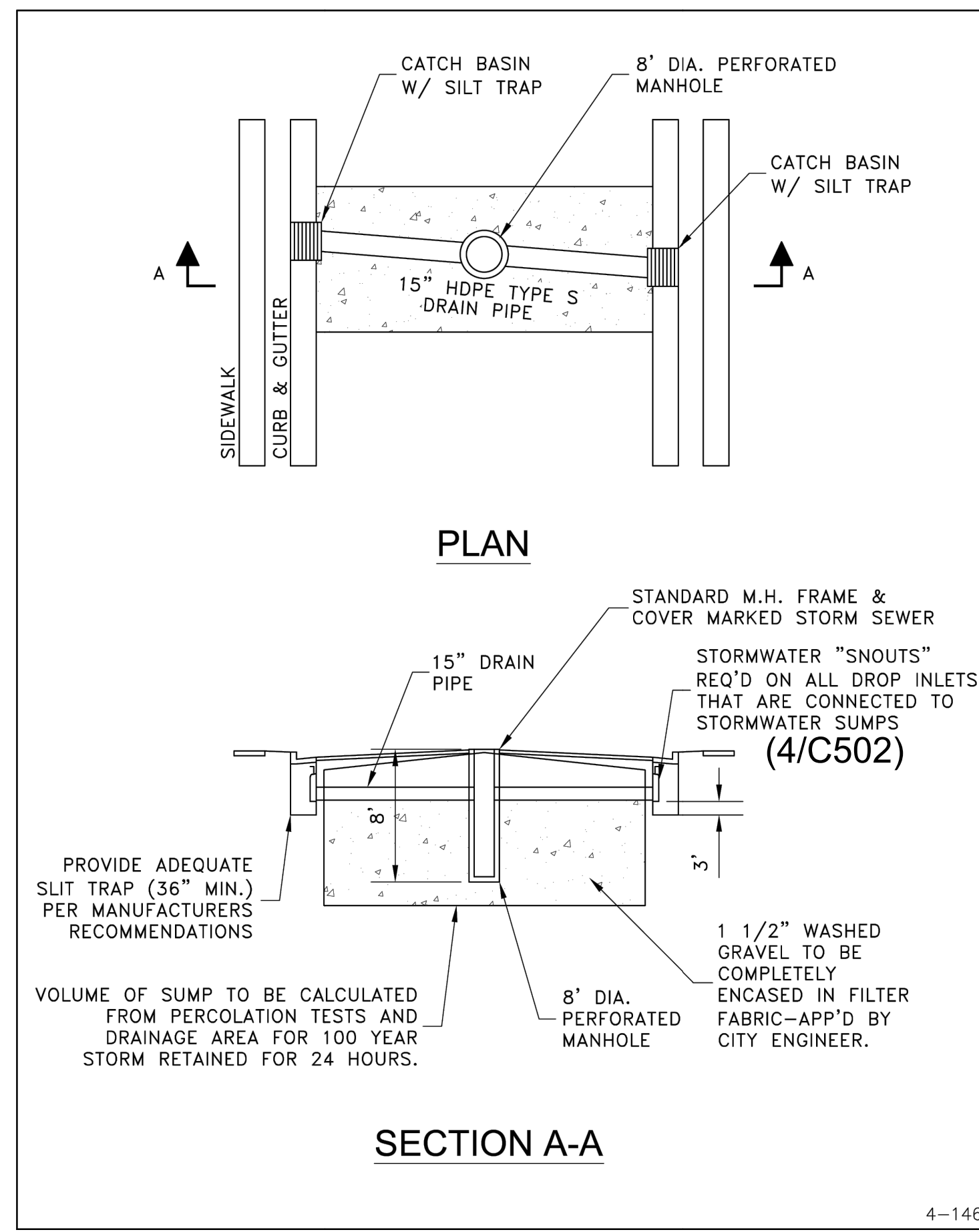


MARK	DATE	DESCRIPTION
1	8.21.23	UTILITY SERVICE LOCATION CHANGES

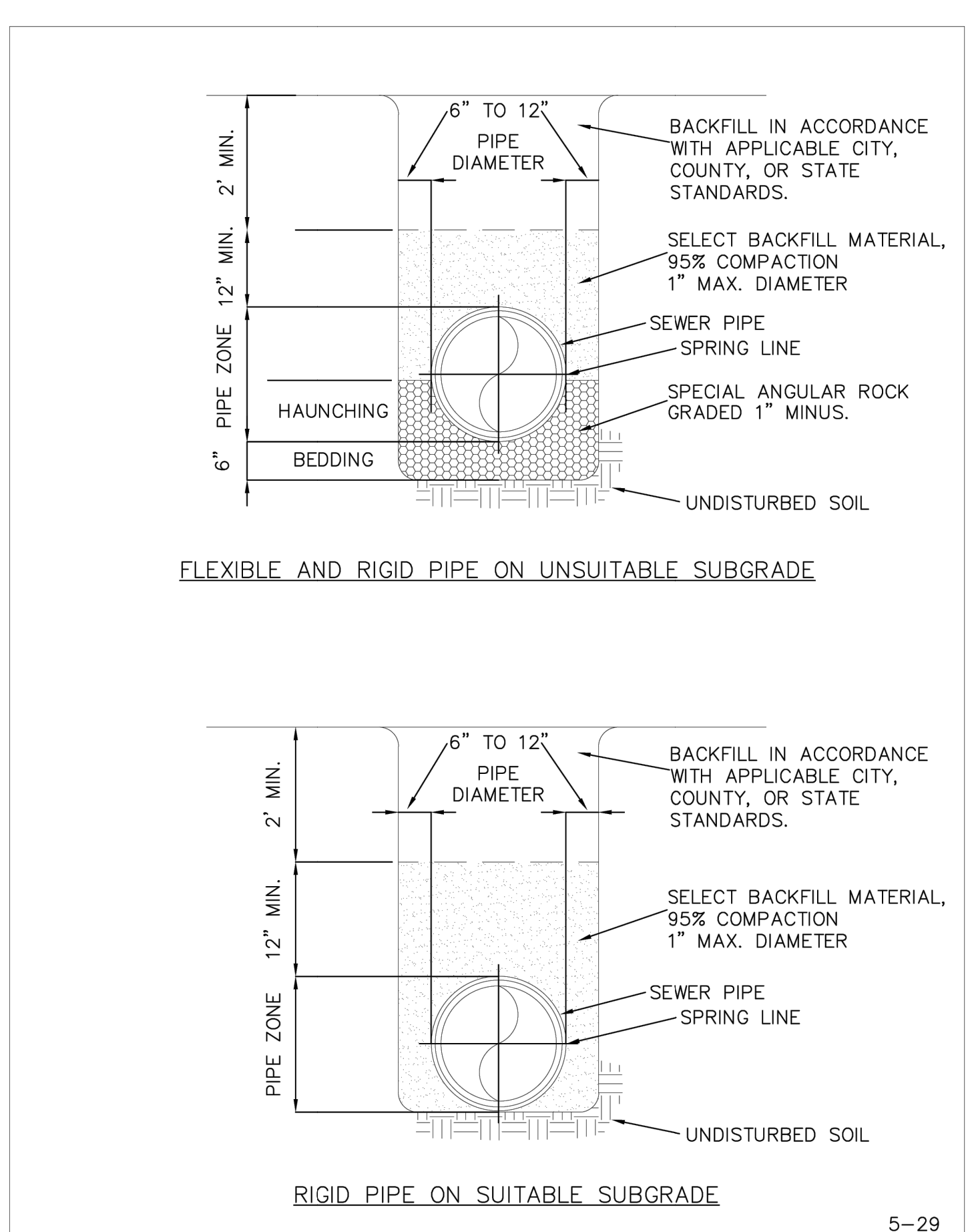
PROJECT #: 20-209  
 DRAWN BY: L. MUMFORD  
 PROJECT MANAGER: M. TAYLOR  
 ISSUED: 3/7/2024



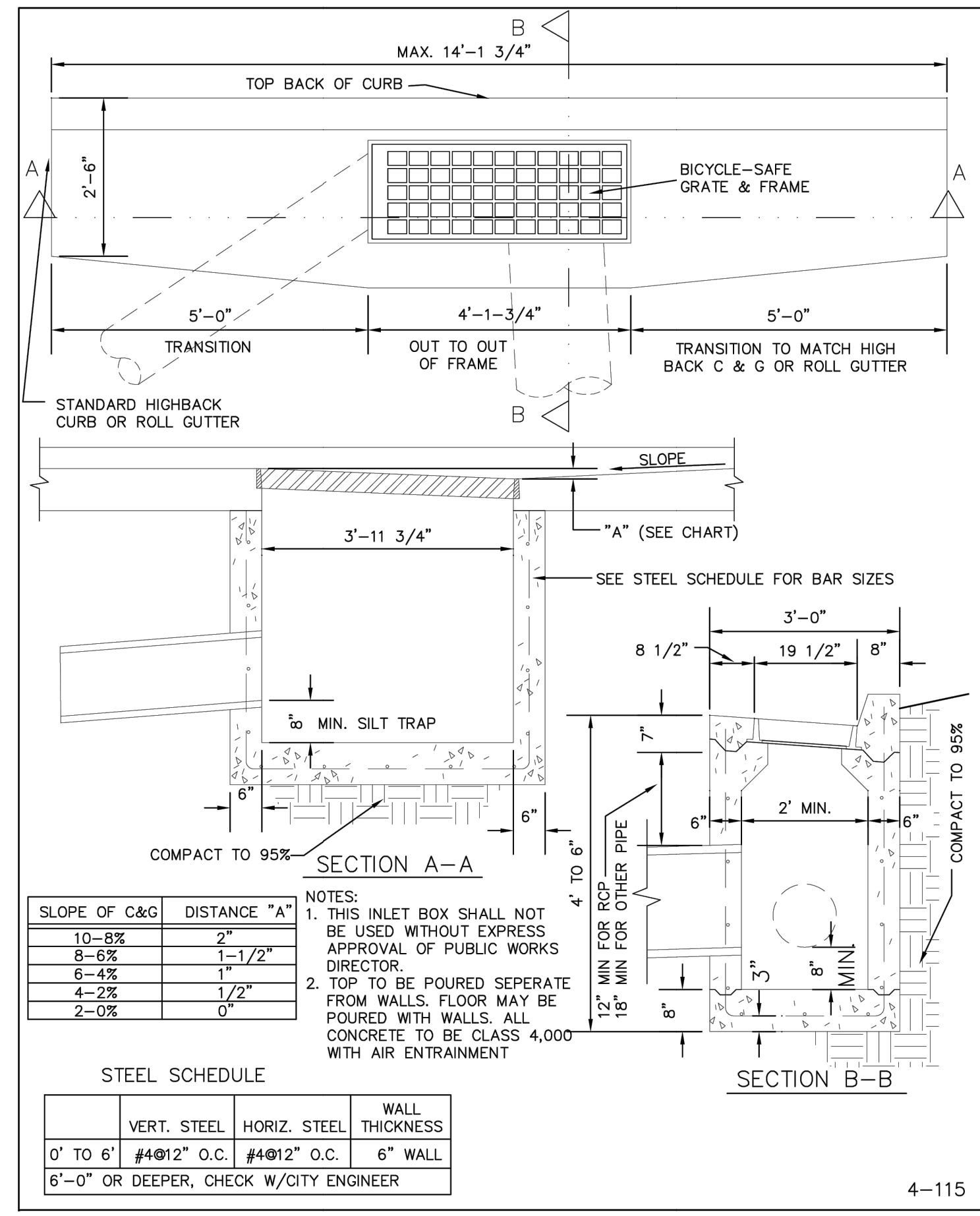




4-148



5-29



4-115

1  
C502

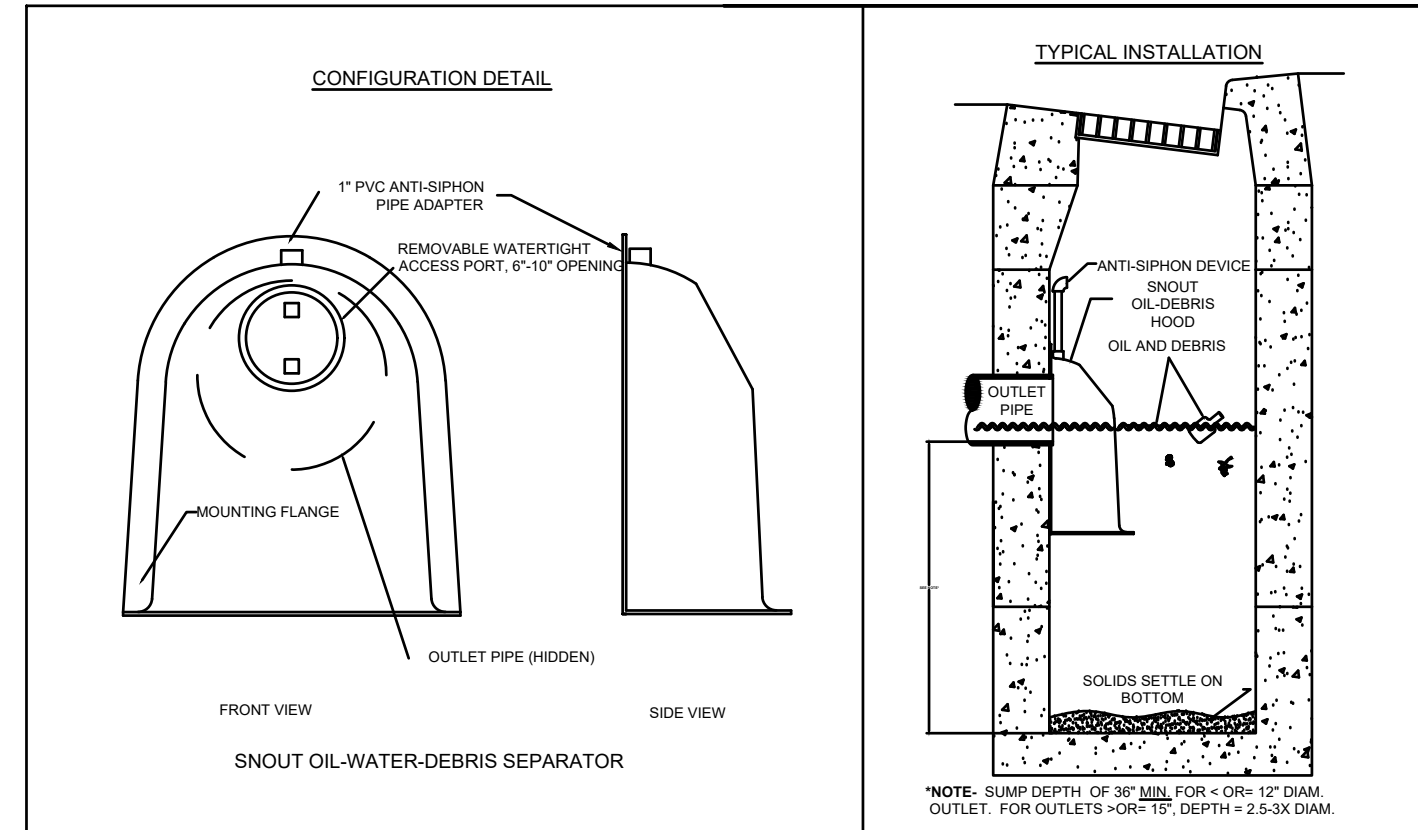
GRAVEL SUMP  
NOT TO SCALE

2  
C502

PIPE TRENCHING DETAIL  
NOT TO SCALE

3  
C502

STORM DRAIN BOX  
NOT TO SCALE



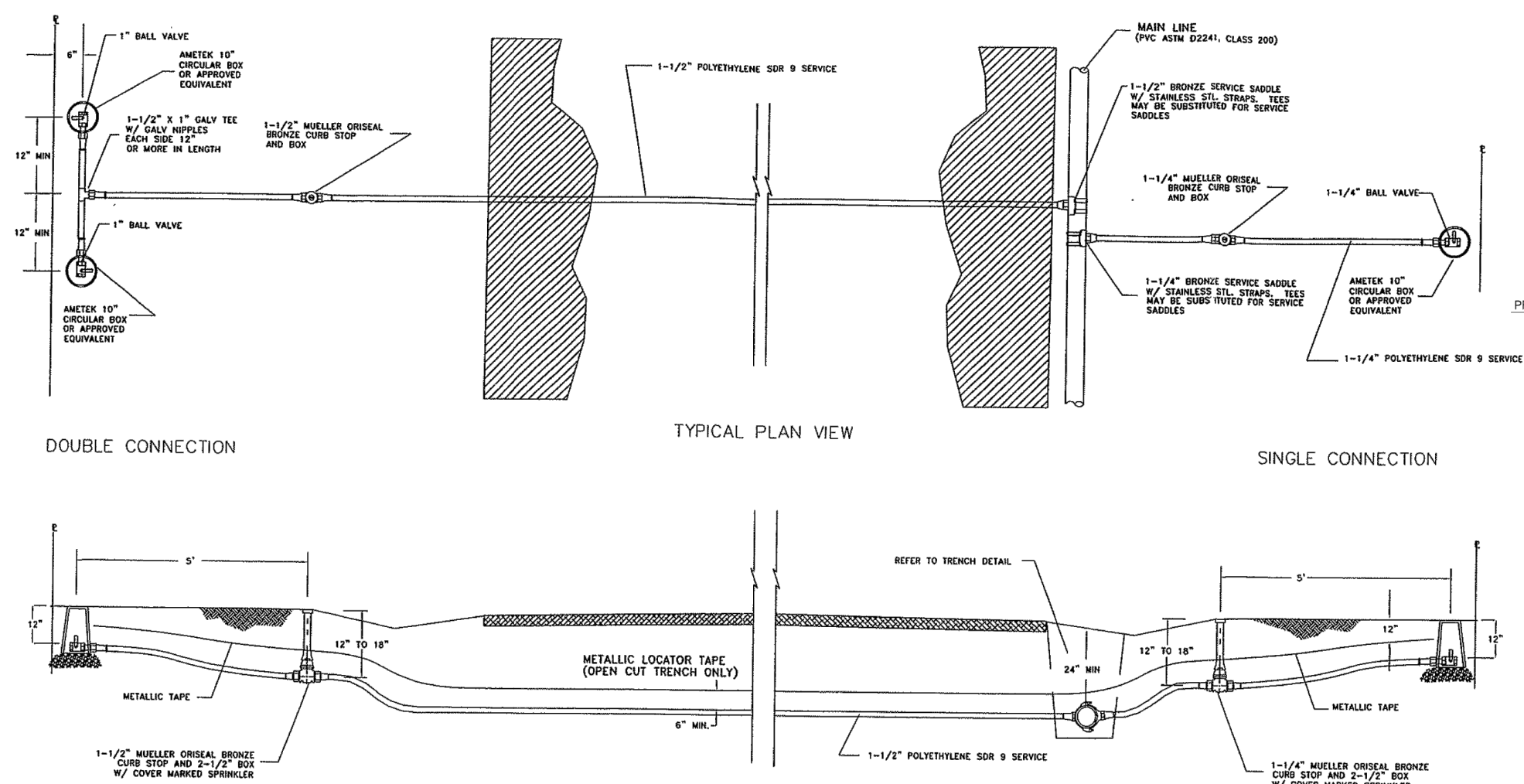
**NOTES:**

1. ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY: BEST MANAGEMENT PRODUCTS, INC. 63 MT ARCHER RD. LYME, CT 06257 (860) 434-0277, (860) 434-3195 FAX TOLL FREE: (800) 504-8008 OR (888) 434-0277 WEB SITE: www.bmproducts.com OR PRE-APPROVED EQUAL
2. ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.120\"/>

US Patent # 6128817

4  
C502

SNOUT DETAIL  
NOT TO SCALE

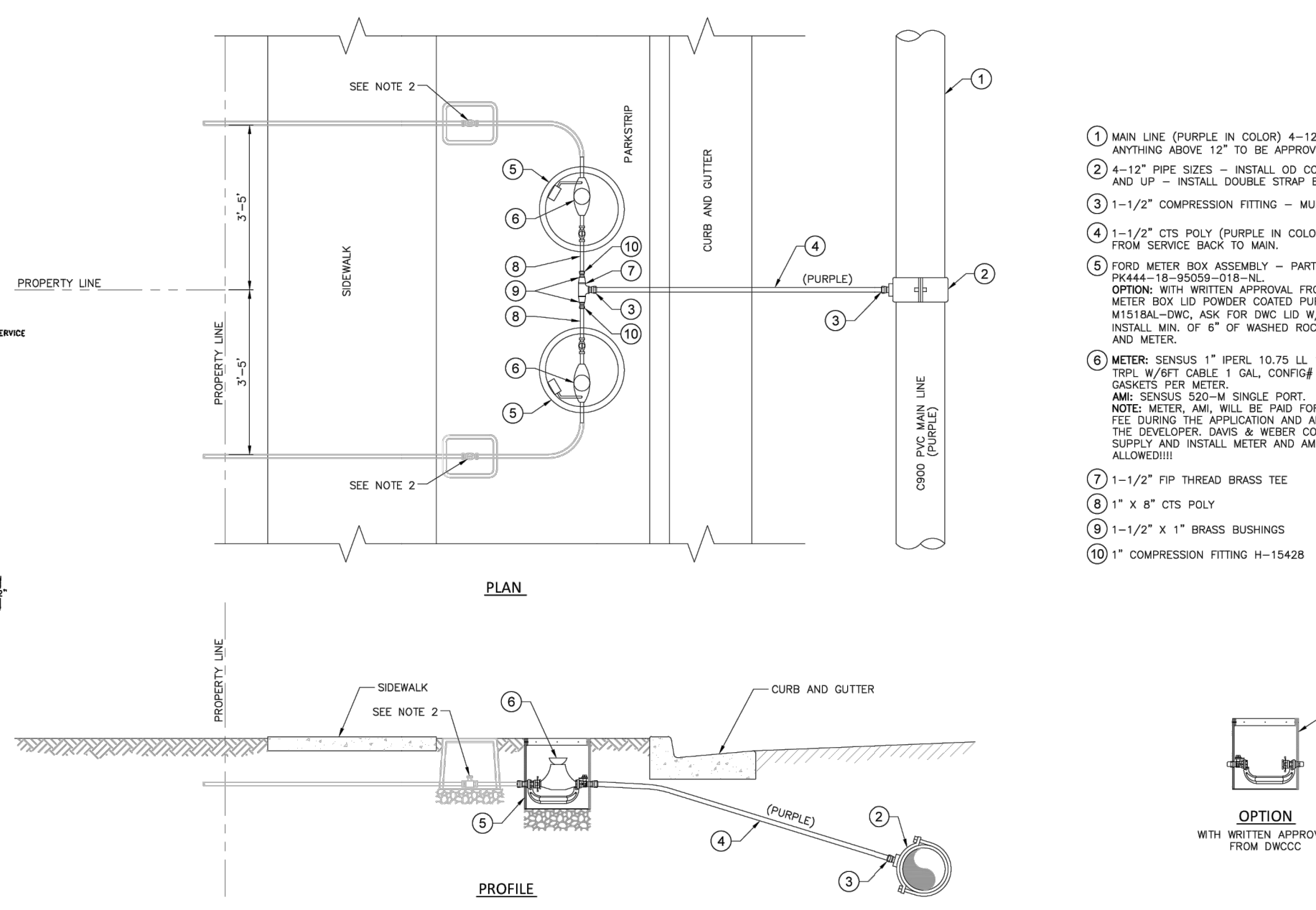


**NOTES:**

1. SERVICES MAY BE TUNNELED OR JETTED UNDER PAYMENT AREAS AREAS REQUIRING SURFACE CUTTING SHALL REQUIRE SURFACE RESTORATION.
2. IF TAPPING SADDLES ARE USED, METHOD OF SAWING/CUTTING TAP HOLES TYPE OF SANDLE AND INSTALLATION PROCEDURES MUST BE APPROVED.
3. POLYETHYLENE PIPE SHALL BE SIZE D = PE SADDLE MANUFACTURED TO MEET THE REQUIREMENTS OF ASTM D-2753.
4. P.V.C PIPE SHALL BE ASTM D2241, CLASS 200.
5. NO 6\"/>

5  
C502

IRRIGATION SERVICE  
NOT TO SCALE



**NOTES:**

1. MAIN LINE (PURPLE IN COLOR) 4-12\"/>

6  
C502

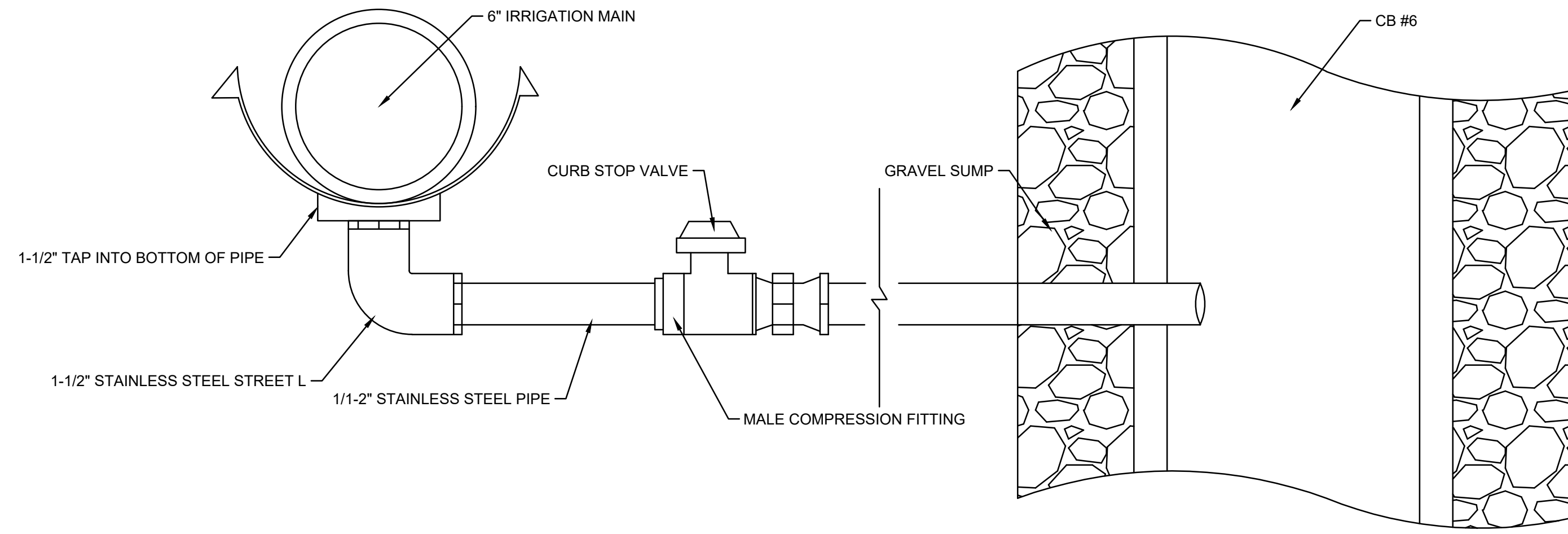
IRRIGATION METER  
NOT TO SCALE

MARK	DATE	DESCRIPTION
1	8.21.23	UTILITY SERVICE LOCATION CHANGES

PROJECT #: 20-209  
DRAWN BY: L. MUMFORD  
PROJECT MANAGER: M. TAYLOR  
ISSUED: 3/7/2024

PROFESSIONAL ENGINEER  
3/7/2024  
No. 5243198-2002  
MICHAEL S. TAYLOR  
STATE OF UTAH





1  
C503 1-1/2" IRRIGATION DRAIN  
NOT TO SCALE

P:\2020\20-209 MVE Phase 4\AutoCAD\Civil\ME South - 2021\Sheets\20-209 DETAILS

**civilsolutionsgroup inc.**



CACHE VALLEY | P: 435.213.3762  
SALT LAKE | P: 801.216.3192  
UTAH VALLEY | P: 801.874.1432  
info@civilsolutionsgroup.net  
www.civilsolutionsgroup.net

**MOUNTAIN VIEW ESTATES  
SOUTH SUBDIVISION**  
6200 S 1300 E  
HYRUM, UTAH

MARK	DATE	DESCRIPTION
1	8/21/23	UTILITY SERVICE LOCATION CHANGES

PROJECT #: 20-209  
DRAWN BY: L. MUMFORD  
PROJECT MANAGER: M. TAYLOR  
ISSUED: 3/7/2024



**DETAILS**

**C503**